

**CITY OF ST. HELENA  
PLANNING DEPARTMENT 1480 MAIN STREET-ST. HELENA, CA 94574  
PLANNING COMMISSION**

**FEBRUARY 12, 2013**

**AGENDA ITEM: 9.1**

**2012-72:** Request of Larry Mueller representing Napa Big Rock Estate LLC for Design Review approval to construct a 11,166 sq ft split-level residence on a 8.92 acre undeveloped parcel located at 1360 Big Rock Road in the WW: Woodlands & Watershed district. (APN: 025-420-023) (CEQA: Exempt)

**PREPARED BY:** Greg Desmond, Interim Planning Director

**APPLICATION FILED:** 10/05/12

**ACCEPTED AS COMPLETE:** 1/31/13

**LOCATION OF PROPERTY:** 1360 Big Rock Road

**APN:** 025-420-023

**GENERAL PLAN:** Woodlands & Watershed

**ZONING:** WW: Woodlands & Watershed

**OWNER/APPLICANT:** Larry Mueller/Big Rock Estate LLC

**PHONE:** 808.217.2414

**PROJECT DESCRIPTION:**

The subject property is located in the hills east of the Silverado Trail off of Howell Mountain Road. Access to the site is via Big Rock Road, a narrow private road. Access to the building envelope from Big Rock Road is provided by an existing access drive which is paved and 14' in width.

Adjacent parcels are designated Woodlands and Watershed and Agriculture, with parcels ranging in size from 2 to 20 acres. The adjacent parcels are primarily developed with private estate homes, although one adjoining property has vineyard and winery use.

The subject parcel is 8.92 acres and consists of steep slopes (up to 50%) and is heavily vegetated with live oak, blue oak, Douglass fir and madrone. The site is currently undeveloped with the exception of the existing access drive and a pump house and water storage tanks.

The parcel is one of three that were created via a parcel map in 1999. At that time an original 28.4 acre parcel was divided into three parcels each with an established 20,000 square foot building envelope.

Within this envelope the applicant is requesting Design Review to construct a new 11,166 split-level residence. The proposed residence will be configured in the following manner.

***Lower level:*** covered parking/garage, media room, gym, laundry/mechanical rooms, first floor of master suite, first floor of guest suite and wine/toy storage.

**Upper level:** *kitchen/dining areas, hearth room, 3 bedrooms, office, second floor of guest suite, great room.*

The applicant is also proposing a pool and detached/unconditioned 523 sq ft cabana.

Materials proposed for the residence are stone veneer on the lower level with board on board wood siding on the upper level. The roof will be metal standing seam. All exterior finishes will be selected to blend with the immediate surroundings.

The applicant is proposing limited landscaping with the exception of the courtyard between the residence and the pool.

### **ANALYSIS: UPDATED INFORMATION**

Staff received updated information from the applicant on January 31, 2013. This updated information is specific to the following:

- #1 – Site photo reconnaissance and story pole study.
- #2 – Revised grading plan showing a reduction of approximately 3,000 cubic yards of grading.
- #3 – Floor plan modification to entry foyer to simplify framing and reduce grading.
- #4 – Floor plan modification to office patio in an effort to reduce grading.
- #5 – Pool and cabana have been moved closer to residence, pool length has been reduced by 2’.
- #6 – The driveway and hammerhead turn-around have been widened to improve circulation.

Public Works staff have reviewed the updated material and have determined that the reduction in grading was accomplished by moving the structure and site improvements further up on the slope by about 3’. This creates a situation in which the visibility of the proposed project and will increase the slope of the access drive to 16%.

Public Works staff has confirmed that the revised materials do not include slope analysis which is required to confirm that the project is not proposing any grading on slopes of 30% or greater.

The revised exhibits are attached to this report.

### **REQUIRED ACTIONS:**

1. Determine that the project is exempt from the requirements of CEQA, the California Environmental Quality Act, pursuant to Section 15303, Class 3(e) of the CEQA Guidelines, which exempts the construction of new residential and accessory structures.
2. Accept the required findings and approve, modify or deny Design Review to construct a new 11,166 sq ft single family residence and a 523 sq ft unconditioned cabana, located at 1360 Big Rock Road.

### **ANALYSIS: GENERAL PLAN**

The existing General Plan land use designation for the site is Woodlands and Watershed, which is intended to provide for land uses that serve to protect wildlife, vegetation, open space and other natural resources.

Low density, estate-type residential development is allowed with a minimum lot size of five acres. The intent is to allow limited housing opportunities on wooded slopes that are less suitable for agriculture rather than permitting residential development on prime vineyard lands.

The Woodlands and Watershed designation has been applied to lands in the hilly eastern and western portions of St. Helena.

### **ANALYSIS: ZONING**

The project site is zoned Woodlands and Watershed (WW) District consistent with the General Plan designation of the property. In addition to implementing the goals and policies of the City's General Plan relating to minimizing the potential for erosion in steeply sloping areas and protecting wildlife, vegetation, open space and watershed resources the WW District seeks to minimize long-term costs for constructing roads, water systems and sewer systems in remote areas, provide protection in the event of a wildland fire, and encourage low-scale development that is sensitive to the conditions of a particular site and the community's objectives.

Pursuant to Chapter 17.164 all subdivision, signs, grading, removal of vegetation and new structures and buildings (except for one second unit which complies with the provisions set forth in Section 17.64.020, Subsection C) for both permitted and conditional uses shall require design review.

Single family dwellings, accessory structures and second dwelling units are permitted uses in the WW: Woodlands and Watershed Zoning district.

### **ANALYSIS: BUILDING ENVELOPE**

The building envelope for this parcel was established via the parcel map process. The Planning Commission will recognize that the envelope encompasses a ridgeline. Pursuant to section 17.64.060 (E) of the Woodlands and Watershed Ordinance language, no buildings are allowed within 100' of a ridgeline. The intent of this section is to reduce the visual impact of buildings that would obscure public views of the most prominent ridgeline on each property, without precluding the opportunity of the property owner to site a building that could attain a view.

### **ANALYSIS: GRADING**

The original project exhibits proposed extensive grading. The total excavated amount proposed in the initial exhibits was 3,770 cubic yards. The applicant had not indicated if the excavated material would be placed elsewhere on the site or trucked off-site. The Planning Commission should be aware that if this material was to be removed from the site it would have required 360+ trips away from the site in 10-yard dump trucks.

The revised grading plan reduces the volume of grading by approximately 3,000 cubic yard. This was accomplished by moving the siting of the structure up the slope by approximately 3'.

The revised grading plan does not include slope analysis. As a result, staff has not been able to confirm that the project will not involve grading on slopes less than 30%.

### **ANALYSIS: VEGETATION**

The applicant has identified the location and species of the trees (22) to be removed to accommodate this project (Plan Profile & Grading Design exhibit). No tree removal mitigation plan has been proposed.

### **ANALYSIS: VIEWS**

The siting of the residence - at the high point of the site/on a ridgeline - and design – height and massing - of the residence will create a situation in which it will be visible from locations off-site. It is anticipated that neighboring parcels will be able to see the proposed structure. Additionally there are points from St Helena, Conn Valley and Angwin which will be able to view the proposed structure.

The story pole report submitted by the applicant on 1/31/13 is difficult for staff to analyze due to the following factors:

- 1. The report does not take into account the visual effect that will result from the removal of existing trees to accommodate this project.*
- 2. The report does not adequately address the scale and massing of the proposed project. A single 4” diameter pole with flagging is clearly less visible than the proposed residence from neighboring parcels as well as from viewpoints in St Helena, Conn Valley and Angwin.*
- 3. The report does not adequately address the visual impact created by the revising the grading plan which raises the project approximately 3’ up on the slope.*

### **ANALYSIS: WATER**

The subject parcel is served by a private well and is not required to connect to the City of St Helena’s water supply system.

### **ANALYSIS: SEPTIC**

The subject parcel will require a septic system. Plans identify proposed septic areas but the applicant will be required to provide the appropriate approval documents from the Napa County Department of Environmental Health prior to issuance of any building permits.

### **ANALYSIS: PROPOSED USE**

The applicant indicates in the attached letter that this residence will be used as a single-family residence, not as a timeshare and/or a short-term rental property. Please see attached letter from applicant regarding this topic.

### **ANALYSIS: CEQA**

Staff has determined that this project is exempt from the requirements of CEQA, pursuant to Section 15303, Class 3(e) of the CEQA Guidelines, which exempts construction of a limited number of new structures such as a single family dwelling and accessory structures.

### **ANALYSIS: DESIGN REVIEW**

The purpose of Design Review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. Zoning Ordinance Section 17.164.030 establishes the design criteria under which applications should be considered.

The following design criteria should be considered by the Planning Commission in review of this application (Zoning Ordinance Section 17.164.030):

1. *Consistency and compatibility with applicable elements of the general plan;*
2. *Compatibility of design with the immediate environment of the site;*
3. *Relationship of the design to the site;*
4. *Determination that the design is compatible in areas considered by the board as having a unified design or historical character;*
5. *Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;*
6. *Compatibility with future construction both on and off the site;*
7. *Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;*
8. *Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;*
9. *Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;*
10. *Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;*
11. *Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;*
12. *Whether natural features are appropriately preserved and integrated with the project;*
13. *Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;*
14. *In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;*
15. *Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;*
16. *Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;*
17. *Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.*

**SUPPORT/OPOSITION:**

Staff has received the following correspondence in opposition of the project:

*James Marshall  
2020 Big Rock Road*

*Concerns:*

- *The proposed residence will be used as a vacation rental not a single family residence.*
- *The proposed residence is too large and will have significant environmental impacts.*

**STAFF COMMENTS / RECOMMENDATIONS:**

Staff has concerns with this application. Specifically that the proposed design does not meet the intent of the Woodlands and Watershed district. The siting of the project, grading impacts, massing and layout of the proposed improvements has the effect of overpowering the building envelope. Staff finds that the building envelope for this site provides a focused area for potential development. Further, that any development within the envelope shall respond to site features such as ridgelines, outcroppings and vegetation. In response staff concludes that the required Design Review findings cannot be made for the project as proposed.

**PLANNING COMMISSION ACTION:**

1. Staff recommends that the Planning Commission open the public hearing, take testimony from the applicant and the public and provide staff with direction.
2. If the Planning Commission would like additional analysis/information from staff and/or the applicant they may continue the item to a date certain.
3. If the Planning Commission would like to approve or deny the application they may direct staff to prepare the appropriate findings to present to the Planning Commission at the next scheduled meeting.

**ATTACHMENTS:**

Revised statement .....6  
Letter from applicant regarding proposed use .....7  
Exhibits (received on 1/31/13) .....17

Summary of changes to the project since original submittal

To reduce the excavation surplus quantity the floor plans have been slightly modified to simplify the grading requirements. The garage level floor has been raised three feet and the ceiling height rose to eleven feet, reducing the pool/courtyard excavation depth by four feet. This modification to the grading plan will reduce the surplus soil amount to 400 cubic yards. With the amount of large boulders, the project grading will essentially balance.

The floor plan entry foyer has changed to simplify the roof framing and reduce the fill on the down slope. The specific change is to remove the 30 degree skew angle.

The office patio has been modified to balcony, reducing the need to fill behind the home.

The pool and cabana was shifted 4 feet closer to the home. The pool length was reduced two feet.

The driveway was widened at the garage to assist with vehicular flow. The hammer head tee turnaround was widened to assist vehicular flow.

**RECEIVED**  
FEB - 1 2013  
**CITY OF ST. HELENA**

Written Statement for the Napa Big Rock Estate

Objective statement: To develop a single family residence which accentuates the topography and natural beauty of the land and natural resources.

The proposed Napa Big Rock Estate is a beautiful hilltop single-family residence, located at 1360 Big Rock Road, situated on a private driveway behind a simply-designed and aesthetically pleasing security gate. Designed to blend with its surroundings, Napa Big Rock Estate, will be constructed with a subdued color palette of natural and environmentally friendly man-made materials so as to not draw attention to it, but to enhance the beauty of the area where it will be constructed.

To minimize the visibility of the proposed residence from the valley and neighboring homes, our design is to construct the lower level with a half basement and grade down the ridge to create the courtyard entertaining area—minimizing visual impact in the area, while also offering privacy to the residents and neighbors.

The proposed residence consists of the following:

- Two story, split level residence
- Lower level will house the covered parking garage area, laundry, mechanical areas, a master bedroom suite, and wine storage.
- Upper level will consist of the kitchen and dining areas, three bedrooms—including the primary master suite, office, and guest suite. The great room, also located on the upper level, will be the focal point of the home and will serve as the family gathering area, overlooking the central courtyard and pool area.
- Upper Level will be erected at grade on the Southern exposure with retaining basement walls on Northern perimeter.

Environmental impact of the construction of the home will be minimal. Outside of the proposed house structure and outdoor living area, the scope of the project would include extending the existing paved driveway to the building envelope. Tree removal would be limited to only the trees impacted directly by the driveway and structure.

The proposed residence will have a maximum height of 26'-11" above the main level finish floor. The projection of original grade will have the roof peak at 27'-4". Both are illustrated in a section on Sheet T1 of the submitted set.

The lower level floor will have a total area of 5,243 square feet of which 1,161 square feet is unconditioned garage and storage space, the balance of 4,082 is conditioned living space.

The main level has a total conditioned floor area of 6,902 square feet. The cabana has a total covered floor area of 575 square feet, but will be unconditioned.

It is our pleasure to propose this project where the owners plan to become part of the community on Big Rock Road, and the surrounding area. The homeowners, inspired by the beauty of the bordering landscape, hope to only enhance the local beauty by adding their new home to the area.

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**FEB - 1 2013**

**CITY OF STELENA**

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OCT 12 2012

CITY OF ST.HELENA

October 12, 2012

Greg Desmond  
Planning Director  
City of St. Helena  
1480 Main Street, St. Helena, CA 94574  
gregd@cityofstheleena.org  
Phone: (707) 968-2749

Dear Greg,

I have engaged Paul Cox of Hogan Land Services to assist with the home I am building at 1360 Big Rock Road in St. Helena. I am very excited about this project and appreciate your assistance with the permit and planning process.

The purpose of this letter is to provide you with written verification that I understand and will abide by the timeshare and short-term rental restrictions of the St. Helena Municipal Code. I have reviewed section 17.112.130 titled *Time-sharing uses prohibited* and I would like to confirm with you that the residence I plan to build at 1360 Big Rock is a single family home and will not be used as a timeshare. I have reviewed Chapter 17.134 titled short-term rentals and I understand my property is not zoned for these permits so I will not be offering my property for short-term rentals.

I am available to discuss this with you if you have additional questions - I can be reached via my cell phone at 303-868-0807 or via email at [Larry@LarryMueller.net](mailto:Larry@LarryMueller.net). Thanks again for all your assistance related to 1360 Big Rock Road.

Best regards,



Larry Mueller

**From:** Greg Desmond  
**Sent:** Monday, October 08, 2012 12:48 PM  
**To:** 'mhogan1@hoganls.com'  
**Subject:** St Helena - 1360 Big Rock Road

Hi Mike –

Thanks for dropping your application by on Friday.

As I was reviewing it this morning I noticed that the owner information includes an email address to cuveeventures.com.

The project statement does not mention, with any specificity, what the intended use of the residence will be. That said please note that fractional ownerships and/or short-term rental of single-family residences are not permitted in the Woodlands & Watershed District. I would like to have the project statement revised to clarify that these uses are not proposed as a part of this project.

If you have questions/comments about this please let me know.

Thanks,

**Greg Desmond**

Interim Planning Director  
City of St. Helena  
1480 Main Street  
St. Helena, CA  
94574

Tel: 707.968.2749  
gregd@cityofstheleena.org  
<http://www.cityofstheleena.org>

**Mueller Family Residence  
1360 Big Rock Road  
St. Helena, California**

**Greg Desmond  
Planning Director  
City of St. Helena**



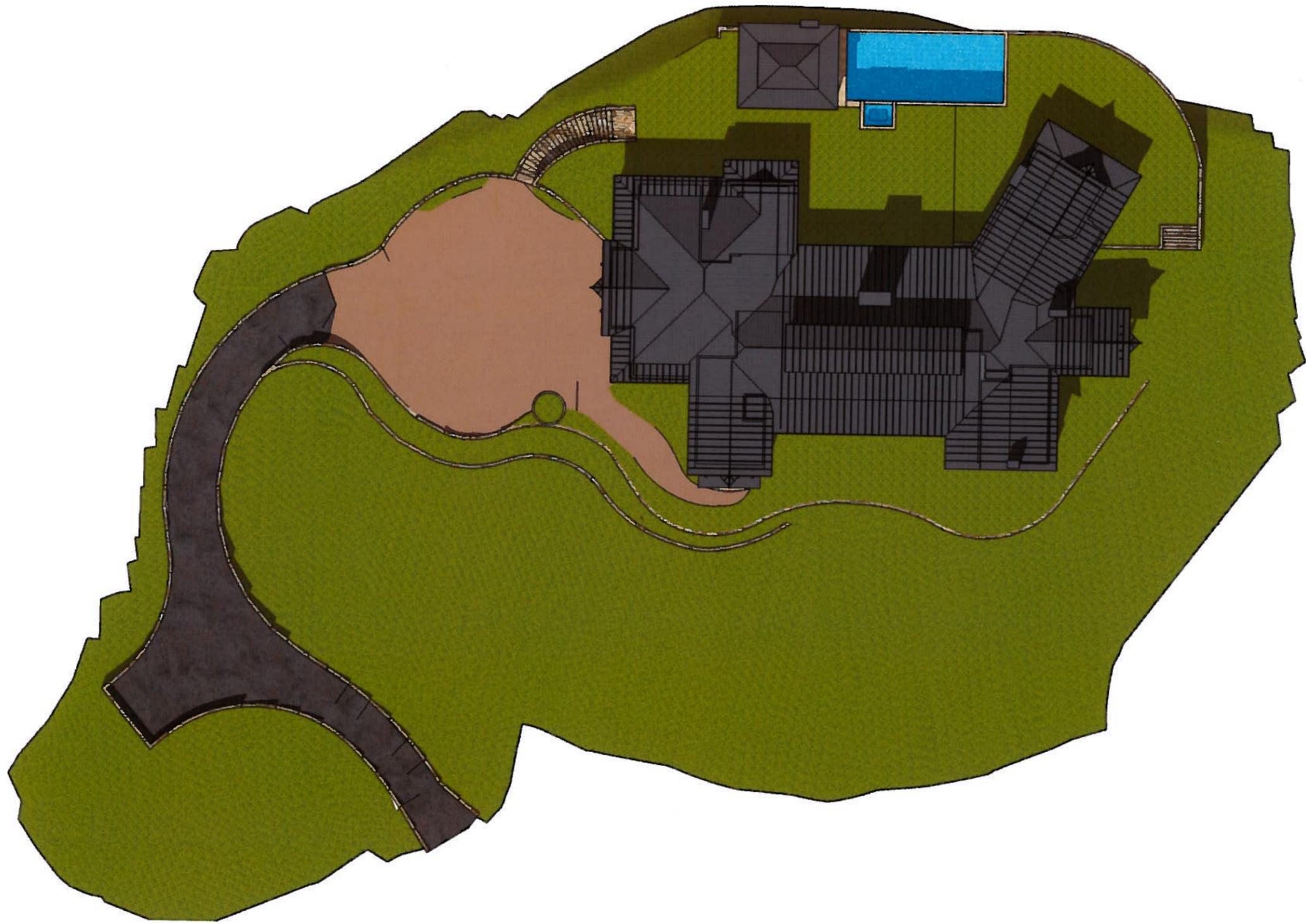






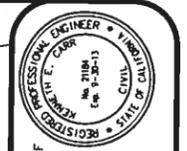
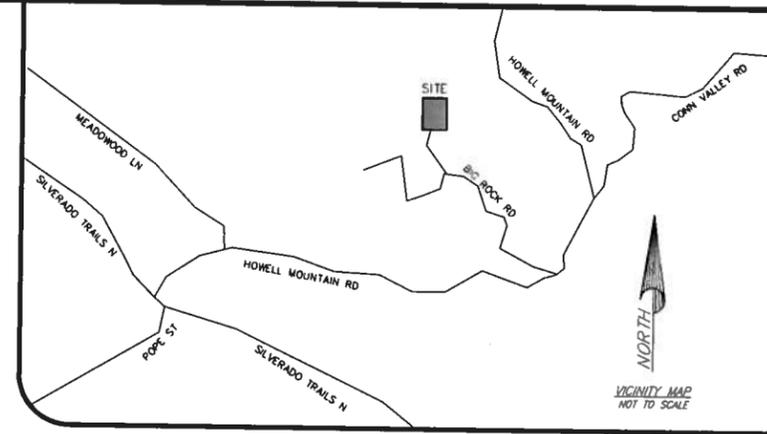






# MUELLER FAMILY RESIDENCE GRADING & DRAINAGE DESIGN

1360 BIG ROCK ROAD, SANTA ROSA  
APN: 025-420-023



THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF JOHN SODERSTROM IN AUGUST, 2012.

REGISTERED PROFESSIONAL ENGINEER  
KENNETH E. CARR  
No. 21184  
Exp. 9-30-13  
CIVIL  
STATE OF CALIFORNIA

DRN: AIS  
CHK: PRC  
PHE: PRC  
DATE: 12-14-12  
JOB #: 1975

**HOGAN LAND SERVICES**  
A CALIFORNIA CORPORATION

541 FARMERS LANE  
SANTA ROSA, CA 95405  
Tel (707) 544-2104  
Fax (707) 522-2105  
www.hogans.com

### PROJECT INFORMATION

**PROJECT STATEMENT:**  
THIS GRADING & DRAINAGE PLAN WAS CREATED TO FACILITATE THE CONSTRUCTION OF THE PROPOSED DRIVEWAY, HOUSE & POOL. GRADING ACTIVITIES INCLUDE BUILDING PADS FOR THE PROPOSED STRUCTURES AND MINOR GRADING TO ALLOW FOR POSITIVE DRAINAGE.

**PROPERTY OWNERS:**  
NAPA BIG ROCK ESTATES, LLC.

**DESIGNER INFORMATION:**  
HOGAN LAND SERVICES  
541 FARMERS LANE  
SANTA ROSA, CA 95405  
(707) 544-2104

**TOPOGRAPHIC INFORMATION PROVIDED BY:**  
HOGAN LAND SERVICES - 2012

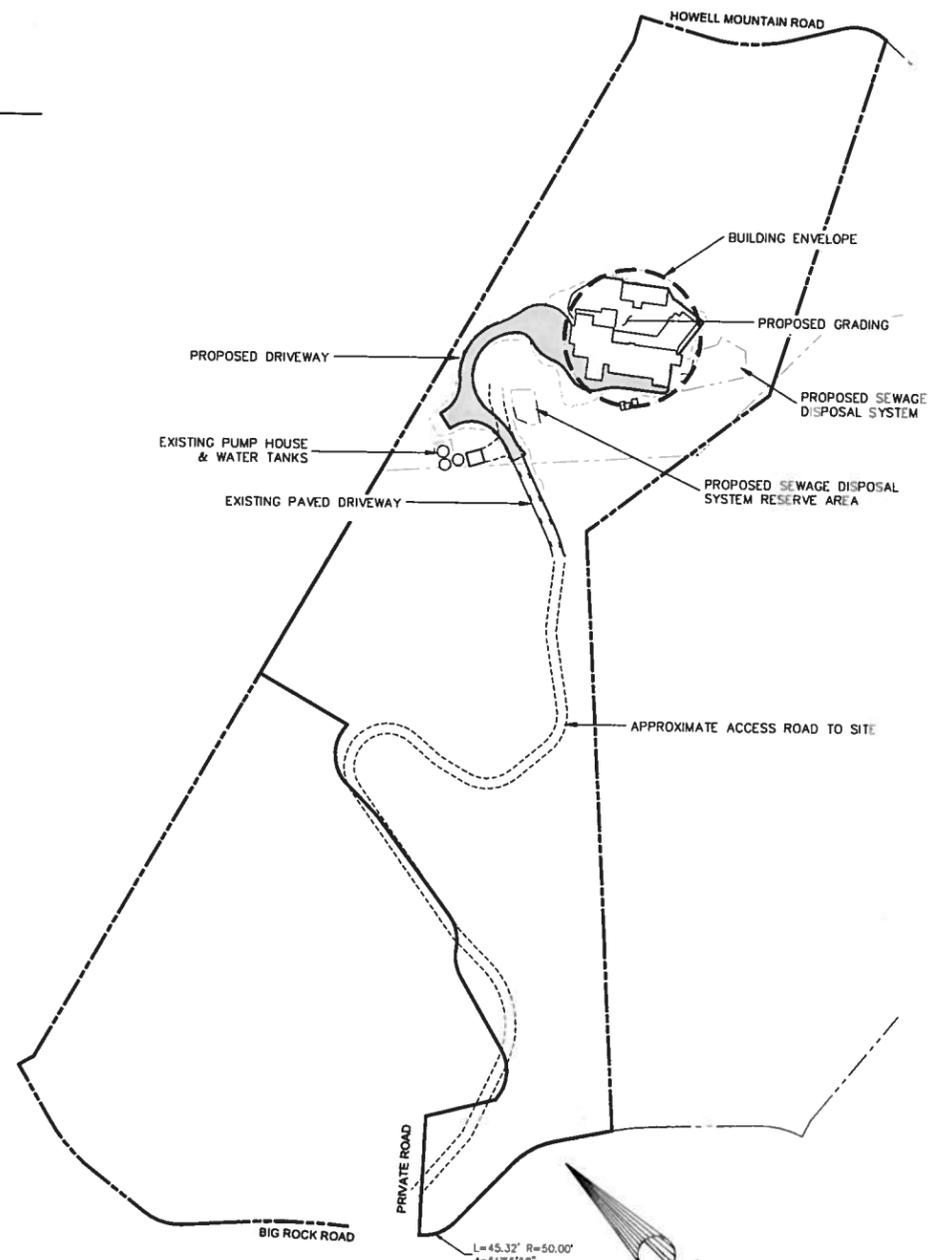
- PROJECT DATUM & BENCHMARK:**
- 1) THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN IS PER RECORD DATA ONLY.
  - 2) HORIZONTAL CONTROL: ASSUMED, BASED ON AZIMUTH READING
  - 3) VERTICAL CONTROL: ASSUMED

### ABBREVIATIONS

STMP	STUMP	CO	CLEAN OUT
OAK	OAK TREE	TW	TOP OF WALL
LO	LIVE OAK TREE	BW	BOTTOM OF WALL
FIR	FIR TREE	AC	ASPHALT CONCRETE
LDS	LANDSCAPE TREE	(E)	EXISTING
CLST	CLUSTER	(P)	PROPOSED
AD	AREA DRAIN	EG	EXISTING GRADE
INV	INVERT	STA	STATION
FG	FINISH GRADE	O/S	OFFSET
TF	FINISH FLOOR	TYP	TYPICAL
FS	FINISH SLAB		

### LEGEND

	RECORD BOUNDARY LINE
	RECORD EASEMENT LINE
	BUILDING ENVELOPE LINE
	(E) EDGE OF ASPHALT CONCRETE
	EDGE OF GRAVEL ROAD
	BUILDING PAD EDGE
	GRADING LIMITS
	DRIVEWAY SHOULDER
	FIBER ROLL BARRIER
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	(P) CULVERT/STORMDRAIN W/SIZE & TYPE
	(P) PERFORATED STORMDRAIN 4" PVC SDR-35
	(P) WALL WITH DRAIN
	(P) AC SURFACE
	SPOT ELEVATION
	TREE TYPE & DIA.
	TREE TO BE REMOVED
	DIRECTION AND SLOPE OF FLOW



**SITE PLAN**  
SCALE: 1"=100'

EARTHWORK QUANTITIES TOTAL	
PAD CUT	= 1,500 C.Y.
PAD FILL	= 1,100 C.Y.
NET	= 400 C.Y. CUT
GRADING AREA	= 0.66 ACRES

SHEET INDEX	
C1	TITLE SHEET
C2	GENERAL NOTES
C3	DETAILS & X-SECTIONS
C4	EROSION CONTROL PLAN/ TREE PROTECTION PLAN
C5	GRADING & DRAINAGE PLAN

**TITLE SHEET**  
**GRADING DESIGN**

ROAD LENGTH:  
1360 BIG ROCK ROAD  
ST. HELENA, CALIFORNIA  
APN: 025-420-023

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### EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF APPENDIX J OF THE CALIFORNIA BUILDING CODE, APPLICABLE CITY OF SAINT HELENA REGULATIONS AND SECTION 20 OF THE CALTRANS STANDARD SPECIFICATIONS.
- THE APPROVED PLANS SHALL CONFORM WITH THE EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES CONTAINED IN THE LATEST EDITIONS OF THE FOLLOWING PUBLICATIONS OR AN EQUIVALENT BEST MANAGEMENT PRACTICE.
  - EROSION AND SEDIMENT CONTROL FIELD MANUAL BY THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD.
  - MANUAL OF STANDARDS FOR EROSION & SEDIMENT CONTROL MEASURES BY THE ASSOCIATION OF BAY AREA GOVERNMENTS.
  - CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO. CA000002 WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY DISTURBING LAND EQUAL TO OR GREATER THAN ONE ACRE. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
- PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15).
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER ACTUAL STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. STORM EVENTS PRODUCE AT LEAST 1 INCH OF PRECIPITATION IN A 24 HOUR PERIOD. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS. CHANGES SHALL BE NOTED ON THE PLAN WHEN MADE.
- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER AND CHLORINATED WATER.
- ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY.
- EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING 70% VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS.
- WHENEVER IT IS NOT POSSIBLE TO UTILIZE EROSION PREVENTION MEASURES, EXPOSED SLOPES SHALL EMPLOY SEDIMENT CONTROL DEVICES, SUCH AS FIBER ROLLS AND SILT FENCES. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM THE TOE OF SLOPE.
- HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE.
 

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZERS SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS	APPLICATION RATE
SEED MIX	
<i>Bromus mollis</i> (BLANDO BROME)	40
<i>Trifolium hirtium</i> (HYKON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & SULPHUR	500
MULCH	
STRAW	4000
HYDRAULIC STABILIZING*	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER

\*NON-ASPHALTIC, DERIVED FROM PLANTS

- THE OWNER SHALL PROTECT STORM DRAIN INLETS FROM POTENTIAL POLLUTANT UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY STORM WATER FLOW LEADING TO SOIL EROSION.
- SOIL AND MATERIAL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY, OR AS NECESSARY, AND REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE ARRANGED.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS.
- PROPER APPLICATION, CLEANING AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- WHEN UTILIZED, TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED TO PREVENT THE DISCHARGE OF POLLUTANTS.

### GENERAL NOTES:

- NO WORK SHALL COMMENCE UNTIL ANY NECESSARY PERMITS ARE OBTAINED FROM CITY OF SAINT HELENA PUBLIC WORKS DEPARTMENT.
- THE OFFICE OF HOGAN LAND SERVICES SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO REQUIRING ANY STAKING - TELEPHONE 544-2104.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF GAS, ELECTRIC, TV CABLE, TELEPHONE, SEWER AND WATER FACILITIES, IF INSTALLED BY OTHERS AND NOT SHOWN ON THESE PLANS.
- UNLESS OTHERWISE SHOWN ON THE PLANS, STORM DRAINS SHALL BE PLASTIC SEWER PIPES WITH MANUFACTURED FITTINGS, GLUED AND CONNECTED PER MANUFACTURER'S RECOMMENDATIONS. STORM DRAIN SHALL COMPLY WITH ANSI/ASTM D 3034-78, SDR 35 REQUIREMENTS OR CORRUGATED POLYETHYLENE PIPE SUCH AS ADVANCED DRAINAGE SYSTEMS (A.D.S.) N-12 OR AS SHOWN ON PLAN.
- DRIVEWAY PAVEMENT SECTIONS ARE FOR BIDDING PURPOSES ONLY. ACTUAL SECTION WILL BE DETERMINED IN THE FIELD AND AS PER RECOMMENDATIONS OF PROJECT GEOTECHNICAL ENGINEER.
- CONSTRUCTION REVIEW BY HOGAN LAND SERVICES, HOGAN LAND SERVICES HIGHLY RECOMMENDS THAT CONSTRUCTION OBSERVATION BE PERFORMED IN ORDER TO CHECK FOR GENERAL PLAN CONFORMANCE AND MITIGATE THE RISK OF PROBLEMS DURING THE COURSE OF CONSTRUCTION. IN THE EVENT THAT OUR FIRM IS NOT RETAINED TO PROVIDE STRUCTURAL CONSTRUCTION OBSERVATION SERVICES, IT IS UNDERSTOOD AND AGREED THAT THE WORK PERFORMED BY HOGAN LAND SERVICES IS LIMITED TO THE PREPARATION OF BASIC DESIGN CONCEPTS AND THAT HOGAN LAND SERVICES HAS NO CONTROL WHATSOEVER WITH REGARD TO PROPER AND COMPLETE CONSTRUCTION OF THE PROJECT IN CONFORMANCE WITH THE APPROVED DRAWINGS. THE OWNER AND CONTRACTOR, THEIR HEIRS AND ASSIGNS, SHALL INDEMNIFY, HOLD HARMLESS AND DEFEND HOGAN LAND SERVICES FROM ANY AND ALL CLAIMS OF ANY PERSON OR ENTITY ARISING OUT OF THE WORK PERFORMED WITHOUT CONSTRUCTION OBSERVATION UNLESS ANY SUCH CLAIM WAS CAUSED BY THE SOLE NEGLIGENCE OF HOGAN LAND SERVICES. PLEASE CONTACT OUR OFFICE IN WRITING IF CONSTRUCTION OBSERVATION IS DESIRED.
- HOGAN LAND SERVICES HAS EXERCISED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, THE DESIGN PROCESS INCLUDES ACTIVITIES OCCURRING AFTER PLAN SIGNATURE. THESE ACTIVITIES INCLUDE CALCULATIONS, PLAN CHECK AND VERIFICATIONS DURING CONSTRUCTION. SHOULD PERSONS OTHER THAN HOGAN LAND SERVICES PERFORM THE CONSTRUCTION STAKING OPERATION, THEY SHALL INDEMNIFY HOGAN LAND SERVICES FROM ANY DAMAGES RESULTING FROM FAILURE TO PERFORM THESE TASKS OR ANY EXPENSES OR DAMAGE RESULTING FROM OMISSION OR ERROR CONTAINED IN THE PLANS WHICH WOULD REASONABLY HAVE BEEN DISCOVERED AND CORRECTED BY HOGAN LAND SERVICES.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY DUE TO ANY ALLEGED STAKING ERROR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RE-STAKING AND VERIFICATION OF PREVIOUS STAKING. SHOULD ANY CORRECTIVE WORK BE DONE PRIOR TO NOTIFICATION, OR IF THE ORIGINAL STAKING IS DONE BY OTHERS, HOGAN LAND SERVICES ASSUMES NO LIABILITIES FOR THE COSTS INCURRED FOR THIS WORK. WHERE IT HAS BEEN DETERMINED THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY THE ENGINEER, THAT AMOUNT SHALL BE AGREED TO BY THE ENGINEER IN WRITING PRIOR TO TAKING CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE BY THE ENGINEER WILL NEGATE ALL REQUIREMENTS OF HIS FINANCIAL ASSISTANCE.

### GRADING NOTES:

- PERFORM GRADING IN PERFORMANCE WITH THE LATEST EDITION OF APPENDIX J OF THE CALIFORNIA BUILDING CODE, APPLICABLE CITY OF SAINT HELENA REGULATIONS, (AND TO THE RECOMMENDATIONS OF THE SOILS ENGINEERING REPORT, PREPARED BY PJC & ASSOCIATES, DATED AUGUST 28, 2012, JOB. 5878.01
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER UPON DISCOVERING DISCREPANCIES, ERRORS OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS OR OMISSIONS. THE REVISED PLANS SHALL BE SUBJECT TO REVIEW BY THE CHIEF BUILDING OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-842-2444, AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITIES OWNER AND/OR THE PROJECT ENGINEER IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE AND CABLE/TV.
- IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE HALTED WITHIN A 100 FOOT RADIUS OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707)664-0880. A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE COUNTY PER THE ARCHAEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IN THE AFFECTED AREA IMMEDIATELY AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- DRAINAGE FACILITIES AND GRADING SHALL BE INSPECTED BEFORE RECEIVING FINAL APPROVAL. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUESTS.



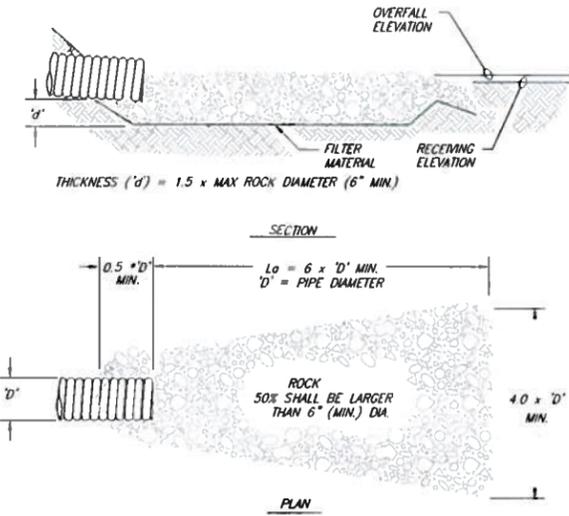
THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF JOHN SODERSTROM IN AUGUST, 2012

DRN: AIS  
CHK: PRC  
PM: PRC  
DATE: 8-22-12  
JOB #: 1375

**HOGAN LAND SERVICES**  
A CALIFORNIA CORPORATION  
541 FARMERS LANE  
SANTA ROSA, CA 95405  
Tel: (707) 544-2104  
Fax: (707) 522-2105  
www.hogans.com

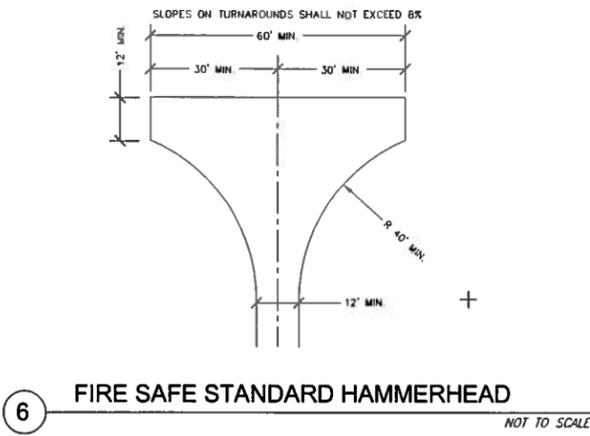
**NOTES SHEET**  
**GRADING DESIGN**  
1360 BIG ROCK ROAD  
ST. HELENA, CALIFORNIA  
APN: 025-420-023  
5

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- NOTES:**
1.  $L_o$  = LENGTH OF APRON. (IF CONSTRUCTION EFFORTS EXCEED DIMENSIONS CRITERIA CONSULT PROJECT CIVIL ENGINEER.)
  2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
  3. FILTER MATERIAL SHALL BE MIRAFI 140N OR EQUAL FILTER FABRIC. (OR 6" THICK (MIN.) GRADED GRAVEL LAYER.)

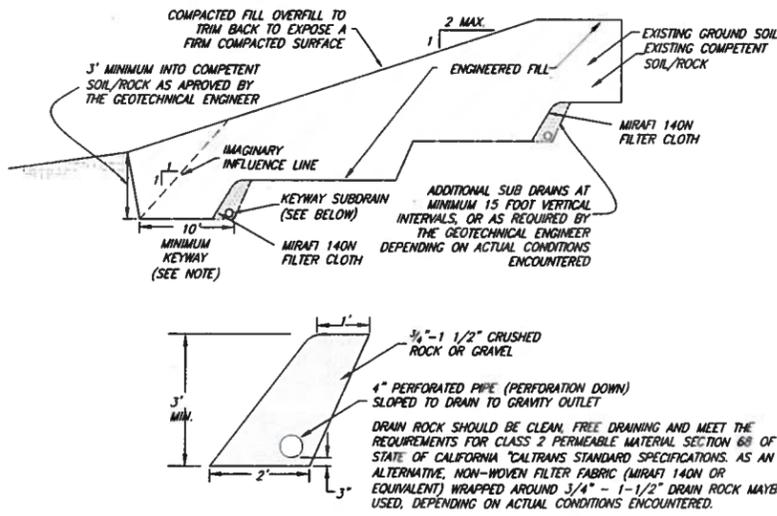
**7 RIP-RAP OUTLET DETAIL**  
NOT TO SCALE



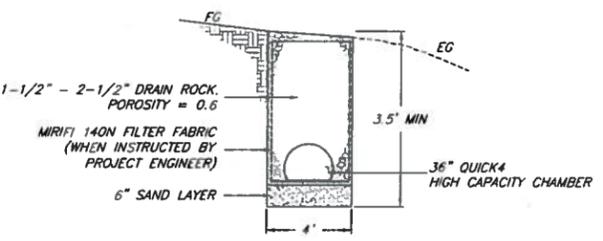
**6 FIRE SAFE STANDARD HAMMERHEAD**  
NOT TO SCALE

- SUBGRADE MATERIAL PREPARATION**
1. CLEAR OF VEGETATION & SOIL CONTAINING GREATER THAN 4% ORGANIC MATERIALS BY DRY WEIGHT
  2. FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER, ROCKS OR LUMPS GREATER THAN 3" DIA. AND HAVE A LIQUID LIMIT < 40 & PLASTICITY INDEX < 15
  3. ALL FILL MATERIAL SHALL BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO USE
  4. FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" AT 90% R.C. UNLESS OTHERWISE NOTED
  5. SCARIFY UPPER 18" & MOISTURE CONDITION JUST ABOVE OPTIMUM AND COMPACT TO 90% R.C.
  6. COMPACT UPPER 8" OF SUBGRADE TO 95% R.C.
  7. ROLL TO SMOOTH NON-YIELDING SURFACE PRIOR TO ADDING BASE
  8. REFER TO PROJECT GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS

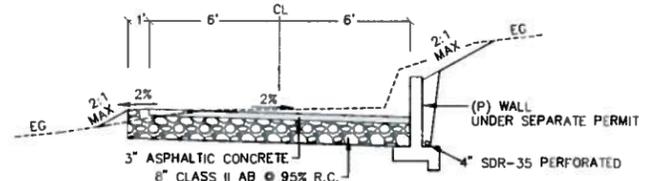
- NOTES:**
1. KEYWAY EXCAVATION AND SUB DRAIN INSTALLATION SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER.
  2. WHERE EXISTING SLOPE EXCEEDS 5:1 EXCAVATE SERIES OF BENCHES IN COMPETENT SOIL/ROCK.
  3. ALL SUB DRAINS SHOULD HAVE CLEANOUTS AT A MINIMUM OF 400 FOOT INTERVALS AND AT UPSLOPE END, UNLESS OTHERWISE NOTED BY GEOTECH.



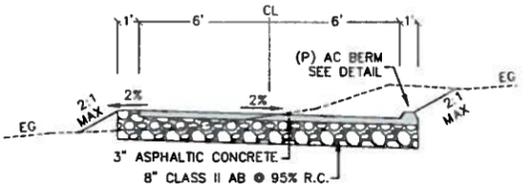
**5 KEY-WAY AND BENCHING DETAIL**  
NOT TO SCALE



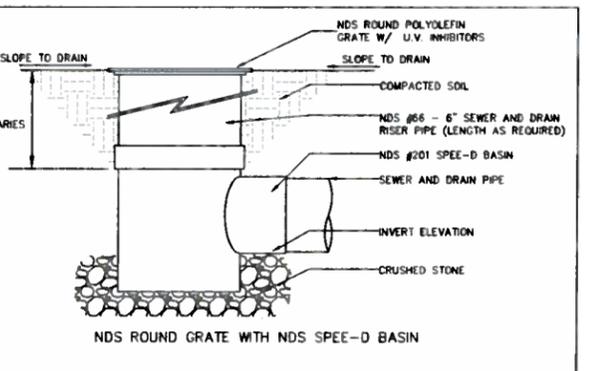
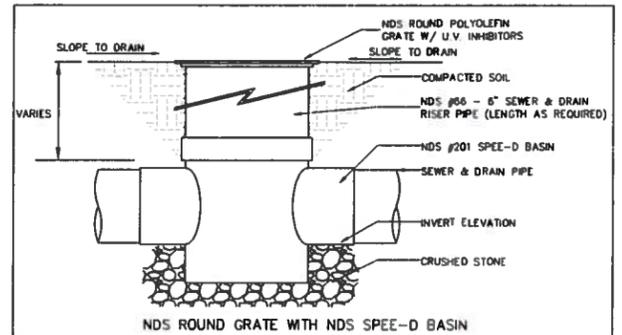
**4 INFILTRATION TRENCH**  
MUST BE INSTALLED ON CONTOUR  
SCALE 1" = 2'-0"



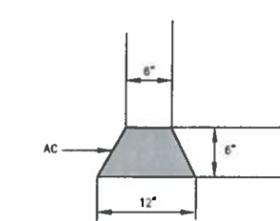
**3a TYPICAL DRIVEWAY DETAIL WITH WALL**  
NOT TO SCALE



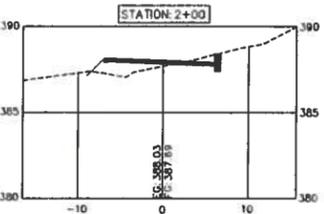
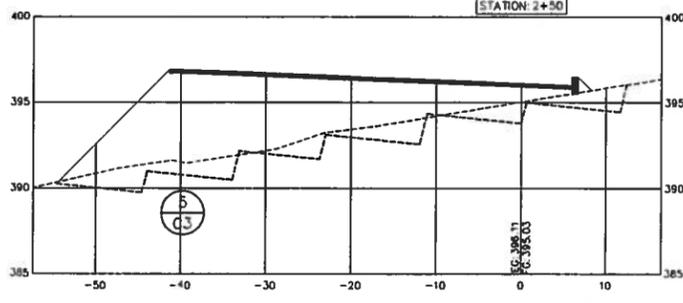
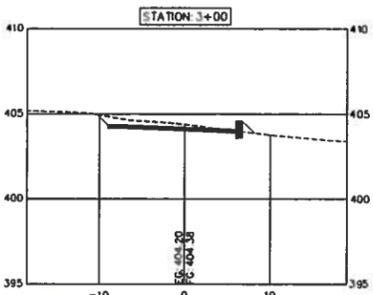
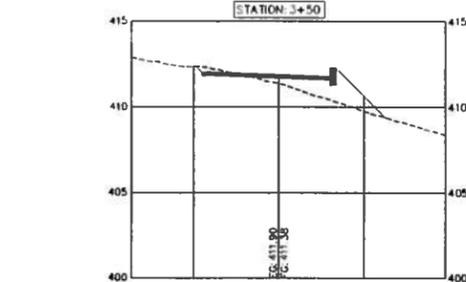
**3 TYPICAL DRIVEWAY DETAIL**  
NOT TO SCALE



**2 AREA DRAIN DETAIL**  
NOT TO SCALE



**1 AC BERM DETAIL**  
NOT TO SCALE



**CROSS-SECTIONS**  
SCALE VERTICAL 1"=5' HORIZONTAL 1"=10'



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DRN: A/S PRC  
CHK: PRC PRC  
DATE: 12-14-12  
JOB #: 1375

**HOGAN LAND SERVICES**  
A CALIFORNIA CORPORATION  
541 FARMERS LANE  
SANTA ROSA, CA 95405  
Tel: (707) 544-2104  
Fax: (707) 522-2105  
www.hoganls.com

**DETAILS & X-SECTIONS SHEET**  
**GRADING DESIGN**  
1360 BIG ROCK ROAD  
ST. HELENA, CALIFORNIA  
APN: 025-420-023  
3 OF 5

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CHK: PRC  
PM: PRC  
DATE: 8-22-12  
JOB #: 1375

KENNETH E. CARR P.C.E. 21184

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**EROSION CONTROL PLAN  
GRADING DESIGN**

APN: 025-420-023

1360 BIG ROCK ROAD  
ST. HELENA, CALIFORNIA

C4 OF 5

**NOTES TO CONTRACTOR**  
1. ALL CUTS AND FILL SLOPES NEED TO BE PLANTED WITH EROSION RESISTANT VEGETATION UPON COMPLETION OF GRADING OR NO LATER THAN OCTOBER 15TH (SEE NOTES ON SHEET C2)  
2. SEE SHEETS 2 FOR COMPLETE EROSION PREVENTION & SEDIMENT CONTROL NOTES.

**TREE PROTECTION NOTE:**

THE CONTRACTOR SHALL INSTALL PROTECTIVE FENCING NEAR TREES DURING CONSTRUCTION TO PREVENT SOIL COMPACTION OR DAMAGE TO THE TREES. ANY EXCAVATION WORK PERFORMED WITHIN THE DRIP LINES OF THE TREES MUST BE SUPERVISED BY THE LANDSCAPE ARCHITECT.

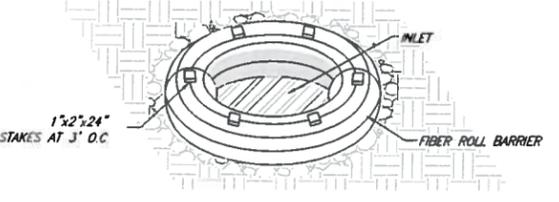
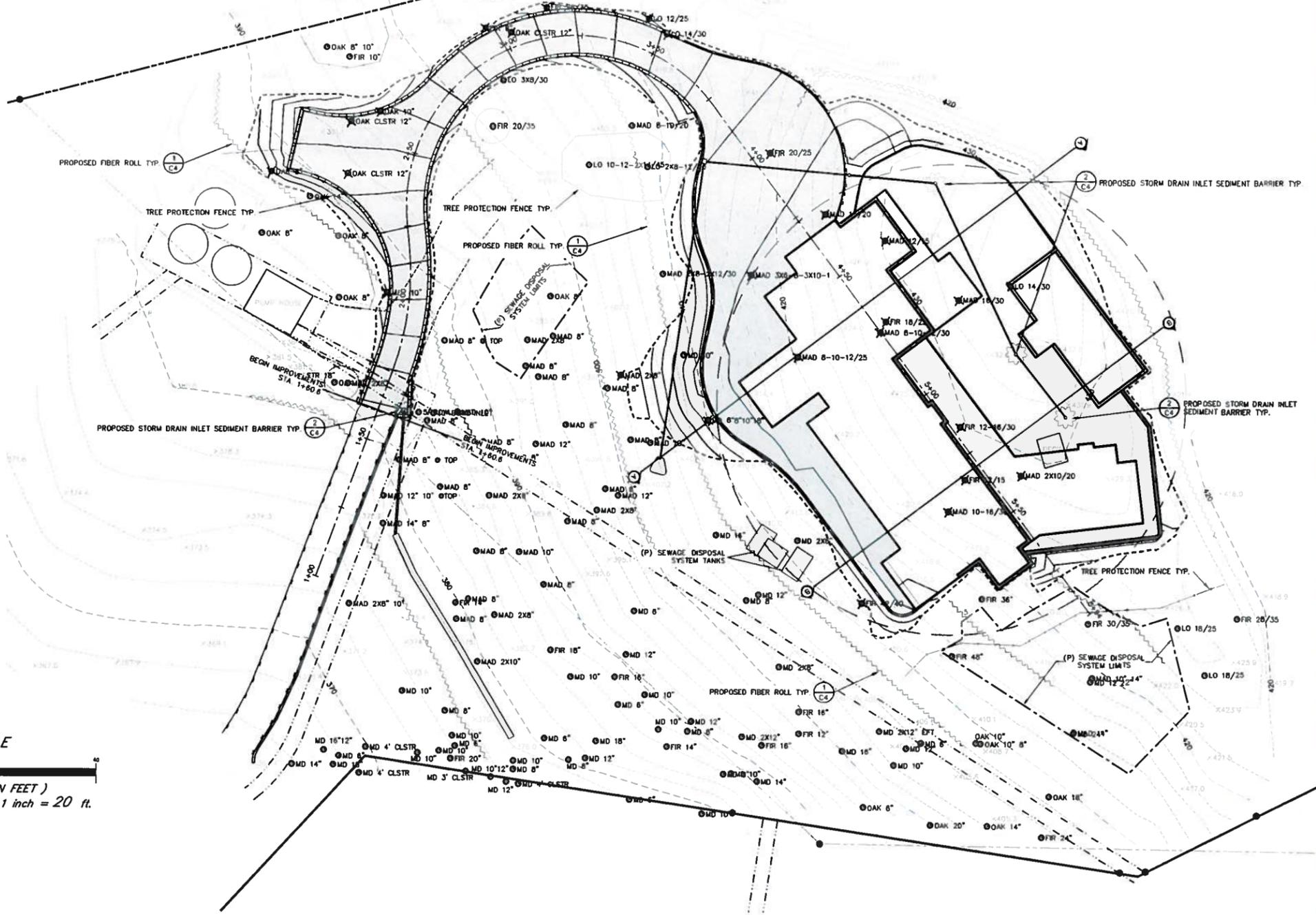
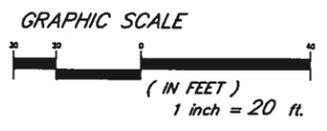
ACTUAL LOCATION OF PIPE NETWORK IN CLOSE PROXIMITY TO WALNUT AND/OR OAK TREES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING.

THE CONTRACTOR SHALL LAYOUT THE PROPOSED TRANSMISSION PIPE TRENCHES WITH PAINT, OR SIMILAR VISUAL METHOD(S). ONCE THE NETWORK HAS BEEN IDENTIFIED IN THE FIELD, THE CONTRACTOR SHALL SCHEDULE A FIELD VISIT WITH THE LANDSCAPE ARCHITECT, WHO WILL APPROVE OR ADJUST THE ROUTING AS NECESSARY.

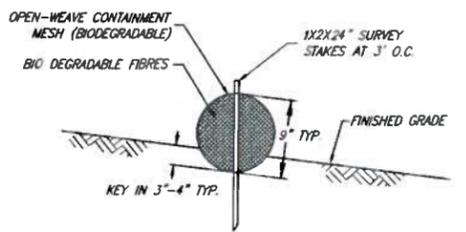
ANY TRENCHING UNDER ANY TREE CANOPY MAY REQUIRE HAND DIGGING. WHERE SUCH TRENCHING WILL OCCUR, THE CONTRACTOR SHALL CONSULT WITH THE LANDSCAPE ARCHITECT TO DETERMINE THE METHOD AND EXTENTS OF SAID TRENCHING.

DO NOT ADD SOIL, STOCKPILE MATERIALS OR DEBRIS NEAR THE TRUNKS OF TREES. IF ANY DEBRIS IS NEAR TREES IT SHOULD BE REMOVED CAREFULLY WITH HAND IMPLEMENTS ONLY.

BRANCHES THAT INTERFERE WITH GRADING OR CONSTRUCTION OPERATIONS SHOULD BE REMOVED PRIOR TO WORK NEAR THE TREES TO PREVENT DAMAGE FROM EQUIPMENT. PRUNING OF TREES SHOULD ONLY BE CARRIED OUT BY A QUALIFIED EXPERT.

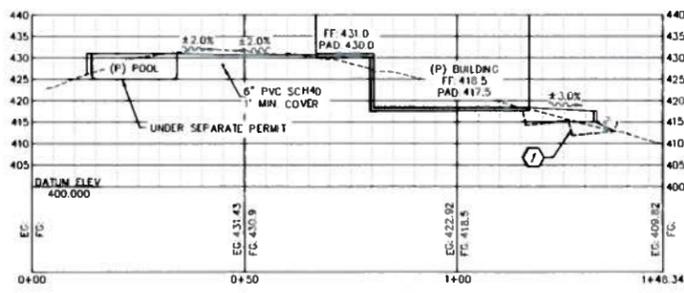


**2 STORM DRAIN INLET SEDIMENT BARRIER**  
NOT TO SCALE

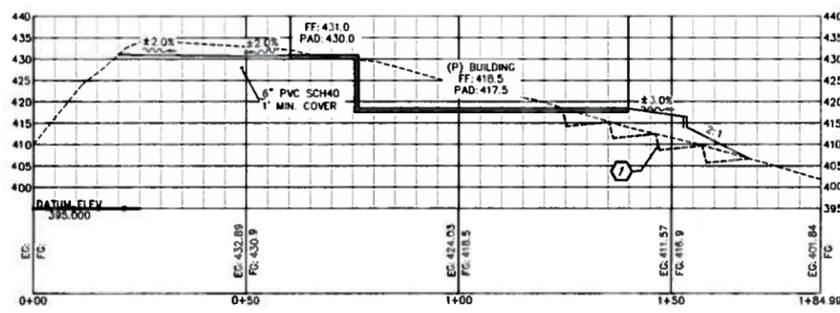


**1 FIBER ROLL BARRIER**  
NOTE: INSTALL FIBER ROLL ON CONTOUR  
NOT TO SCALE

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**SECTION B-B**  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 20'



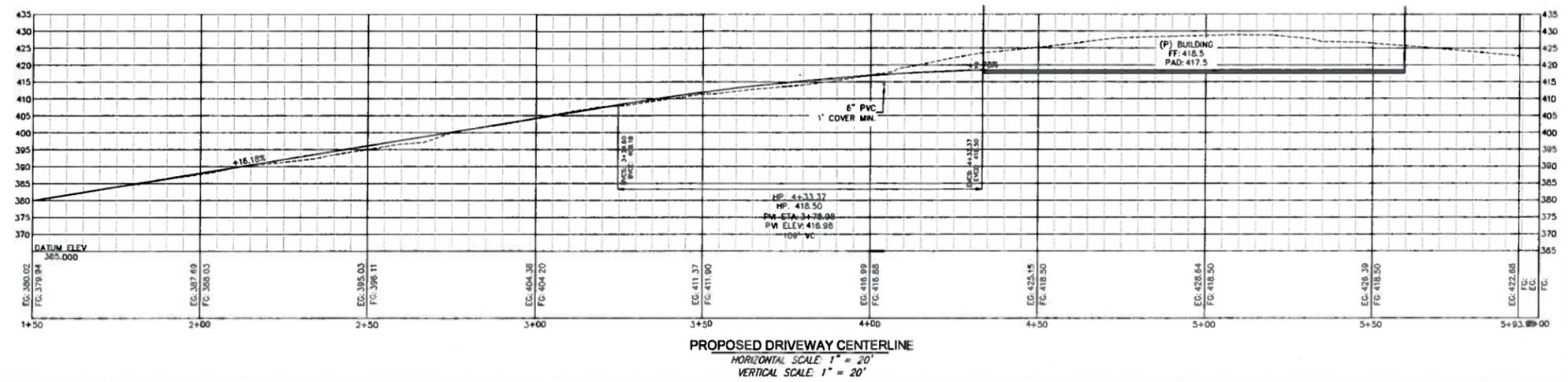
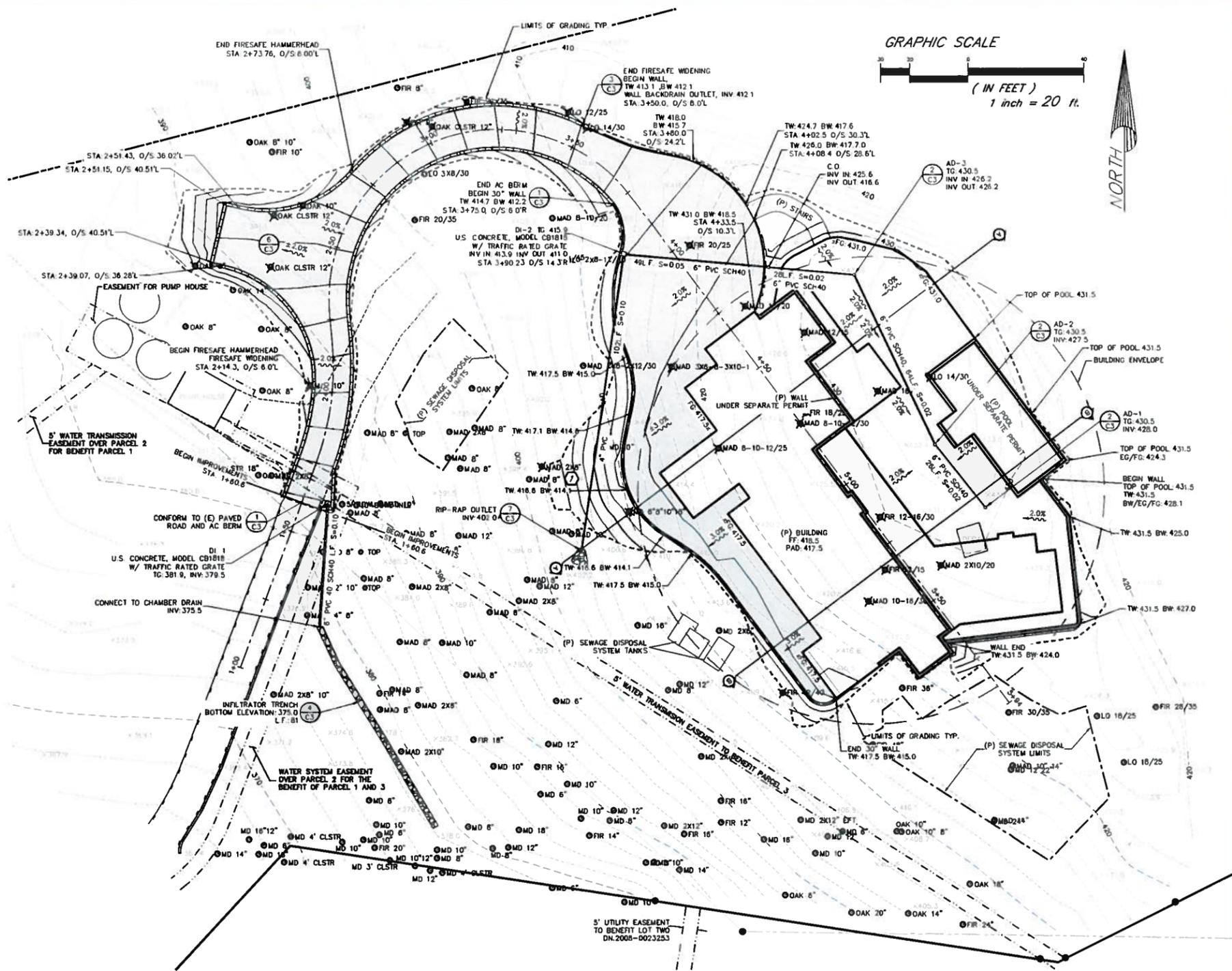
**SECTION A-A**  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 20'

**CONSTRUCTION KEYNOTES**

- ① SEE DETAIL 5/C3 FOR KEY-WAY AND BENCHING DETAIL FOR FILLS OVER 4 FEET AND ON EXISTING GRADES STEEPER THAN 20% OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER. ALL KEYING AND BENCHING SHALL BE DONE UNDER THE SUPERVISION AND DIRECTION OF THE CONSULTING GEOTECHNICAL ENGINEER.

**NOTES TO CONTRACTOR**

- ALL CUTS AND FILL SLOPES SHALL BE PLANTED WITH EROSION RESISTANT VEGETATION UPON COMPLETION OF GRADING OR NO LATER THAN OCTOBER 15TH (SEE NOTES ON SHEET C2)
- SEE SHEETS 2 FOR COMPLETE EROSION PREVENTION & SEDIMENT CONTROL NOTES.



**PROPOSED DRIVEWAY CENTERLINE**  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 20'



THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF JOHN SODERSTROM IN AUGUST, 2012

DRN:	AS
CHK:	PRC
DATE:	12-14-12
JOB #:	1375

**HOGAN LAND SERVICES**  
A CALIFORNIA CORPORATION

541 FARMERS LANE  
SANTA ROSA, CA 95405  
Tel (707) 544-2104

Fax (707) 522-2105  
www.hoganis.com

APN: 025-420-023

**PLAN & PROFILE  
GRADING DESIGN**

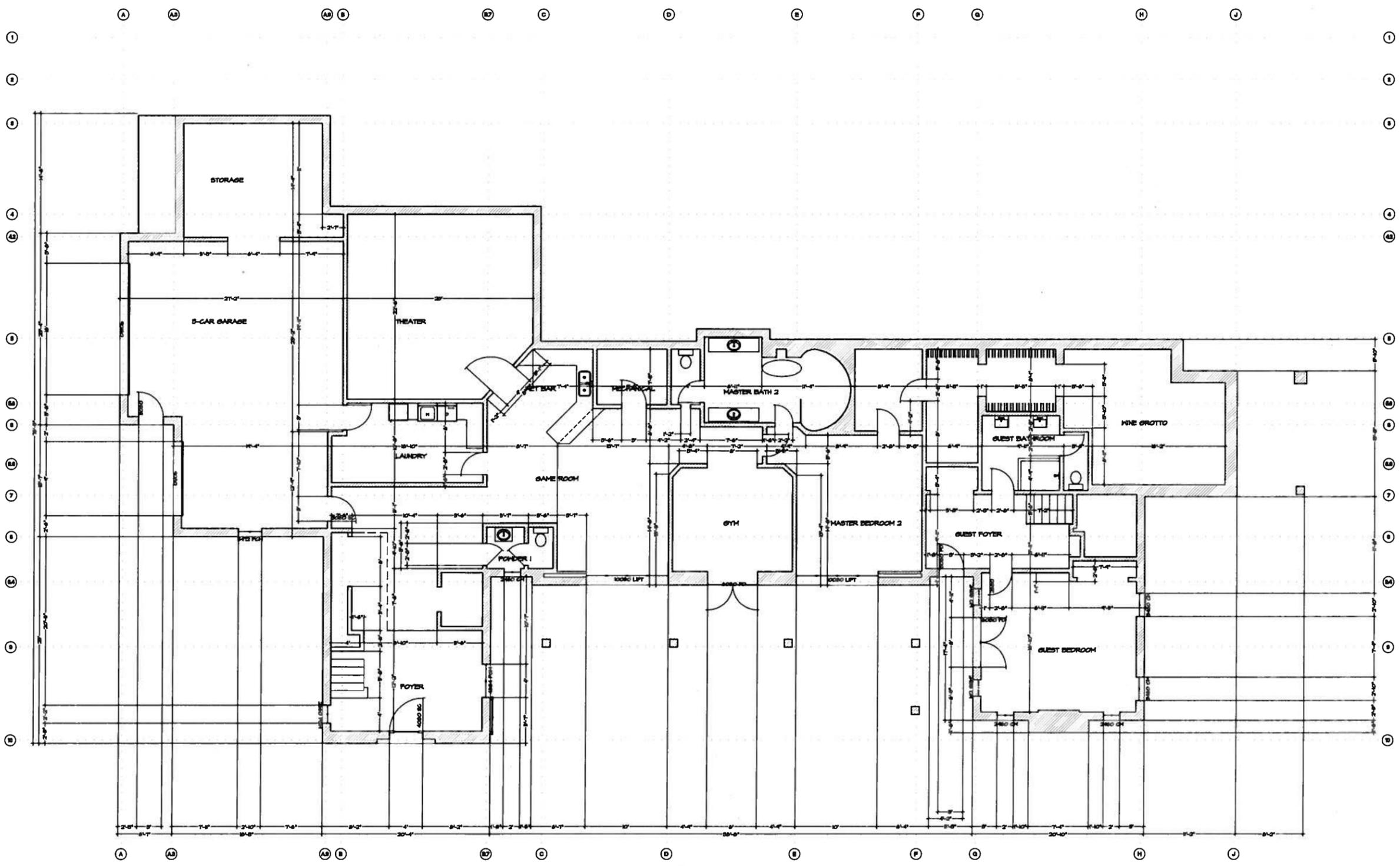
1360 BIG ROCK ROAD  
ST. HELENA, CALIFORNIA

**LOWER LEVEL FLOOR PLAN**

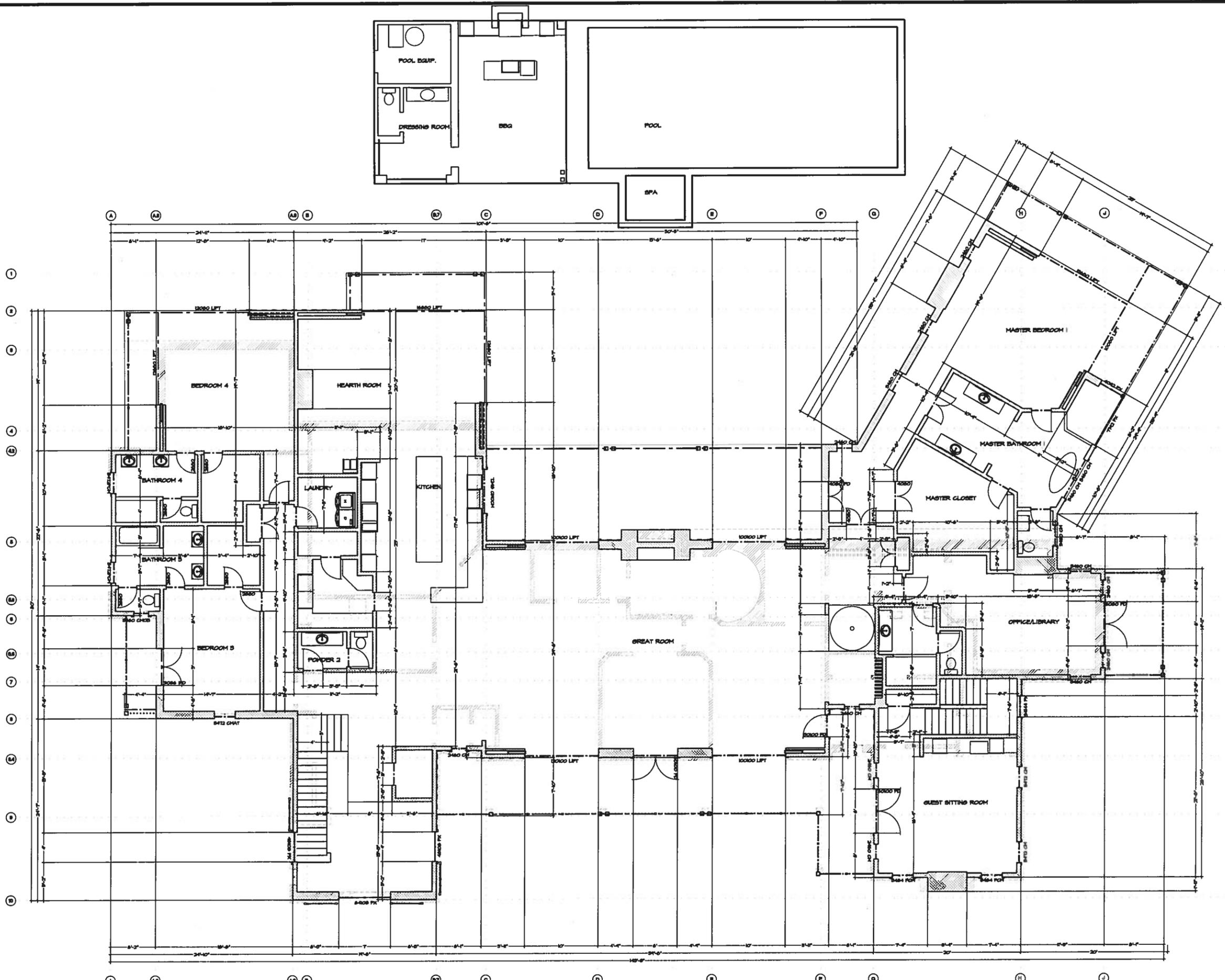
**BIG ROCK ESTATES, LLC**
  
 1880 BIG ROCK ROAD
   
 SAINT HELENA, CALIFORNIA
   
 APR 028-430-028



DATE	08.20.20
SCALE	1/4" = 1'-0"
PROJECT	GR
NO.	40
REV.	
BY	DL
CHECKED	DL
DATE	



**LOWER LEVEL FLOOR PLAN**
  
 SCALE: 1/4" = 1'-0"
   
 PROJECT NORTH



**HOGAN LAND SERVICES**  
 5417 FARMERS LANE  
 SANTA ROSA, CA 95405  
 (707) 532-7100  
 www.hoganservices.com

**MAIN LEVEL FLOOR PLAN**

**BIG ROCK ESTATES, LLC**  
 1500 BIG ROCK ROAD  
 SAINT HELENA, CALIFORNIA  
 APN 028-020-028



**MAIN LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 PROJECT NORTH

DATE	08.24.2010
DESIGNER	SPK
CHECKED BY	PKC
DATE	08.24.2010
PROJECT	A2
48	



January 17, 2013

HLS# 1375

Greg Desmond, Planning Director  
City of St. Helena  
1480 Main Street  
St. Helena, CA 94574

**RECEIVED**

FEB - 1 2013

**CITY OF ST. HELENA**

Site: 1360 Big Rock Road, St. Helena, CA 94574  
APN: 025-420-023

Subject: **Site Photo Reconnaissance and Story Pole**

Dear Greg:

**Introduction**

On Thursday, January 10, 2013 our office prepared and erected a story pole for the proposed project at 1360 Big Rock Road, Saint Helena. Once the story pole and elevations were established, our office drove to specific points within the city limits where photographs were taken in the direction of the project site. The photograph locations were selected based upon the unobstructed view in the direction of the ridgeline where the building envelope is known to exist. The selected locations range in distances from the subject of about one-half mile at location "A" to about 1.2 miles at location "C".

**Story Pole**

Our office set the story pole directly under the ridge of the cupola, a primary aesthetic feature of the proposed residence. The story pole is a one piece steel pole with lath extensions to a maximum height of approximately 24-feet above existing grade secured by guy ropes. Affixed to the story pole are tied flagging at specific heights.

The flagging colors and designations are summarized below.

- Blue and green flagging: Finish floor of primary (second floor)
- Yellow and green flagging: 12' plate heights of great room
- Orange and yellow flagging: Ridge of main roof
- Red, Pink and Orange flagging: Ridge of cupola.

Reflective foil was secured to the top of the story pole to assist in the identification during the photo reconnaissance.

Sheet C5 of the 5 sheet package of the Grading Design plans is included to provide the approximate location of the story pole.

***"We'll Get The Permit"***

**541 Farmers Lane • Santa Rosa, CA 95405 • 707.544-2104 • F 707.522.2105 • hoganls.com  
Surveying • Civil & Structural Engineering • Construction Management • Violation Resolution**



**Illustration 1:** Story pole (at site) with finish floor flagging, 1360 Big Rock Road, St Helena.

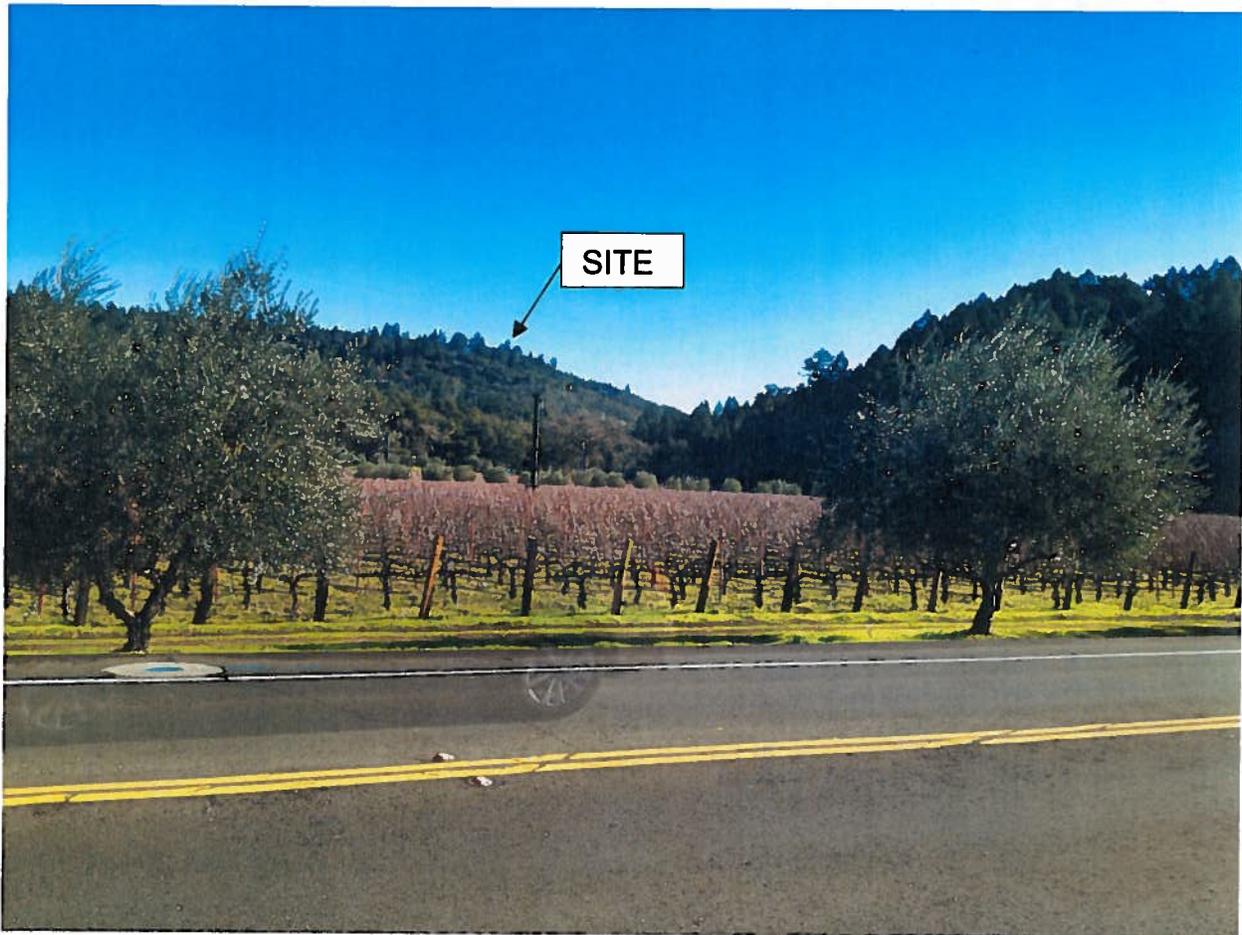


**Illustration 2:** Story pole with 12' great room plates and main ridge and cupola ridge flagging. Note, the large Doug Fir to the right of the story pole in this photo is the existing landmark at the site used to establish the "SITE" markers shown in the following photos.

***"We'll Get The Permit"***

**Photo Reconnaissance**

Upon the completion of setting the story pole our field crew drove into the city limits and attempted to photo-document the site from the valley floor. The six site locations are illustrated on the Google Earth exhibit, attached. The summary of the locations are shown below, along with the photographs taken.



**Illustration 3:** Photo taken at Location “A”, about one-half mile from the “SITE”, at the driveway to 354 Silverado Trail North just west of the east bound Pope Street/Howell Mtn Road sign. Story Pole is not visible

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**Illustration 4:** Dowdell Lane (north of Tiara Fria), Location “B”, about 0.9 mile from “SITE”. Project building envelope obscured by hill in foreground. Story Pole is not visible.

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**Illustration 5:** Mills Lane just north of Hwy 29, Location “C”, about 1.2 miles from “SITE”. Project building envelope remains obscured by hill in foreground. Story Pole is not visible

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**Illustration 6:** McCorkle Avenue at Mariposa Lane, Location “D” about 1 mile from “SITE”. McCorkle Avenue’s alignment points directly at the project building envelope site. This coincidental alignment provides visual feature references to the project ridge and building envelope. However the hill in the foreground obscures the project site.

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**Illustration 7:** Fulton Lane, just north of the railroad crossing, Location "E", about 1.2 miles from the "SITE". From this location the story pole could not be identified through field glasses.

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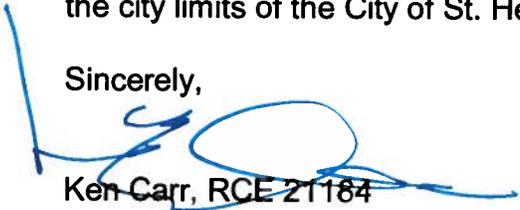


**Illustration 8:** Pratt Avenue, just north of the railroad crossing, Location “F”, about 1.25 miles from the “SITE”. The project site may be discernable from this location although the story pole could not be identified.

**Conclusion**

Based on the photo documentation presented herein, construction of this residence within the building envelope designated will create no visual impacts to residence within the city limits of the City of St. Helena.

Sincerely,

  
Ken Carr, RCE 21184  
Engineering Department Manager

  
Paul Cox,  
Project Manager

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