

**CITY OF ST. HELENA  
PLANNING DEPARTMENT 1480 MAIN STREET-ST. HELENA, CA 94574  
PLANNING COMMISSION**

**DECEMBER 17, 2013**

**AGENDA ITEM: 9.1**

Request by **ANTHONY FILIPPS** for a **LOT LINE ADJUSTMENT** between the subject parcel (APN: 009-172-022) and the parcel to the immediate south (APN: 009-172-023). This adjustment would add 500 sf to the existing 3,250 sf parcel. The applicant is also seeking **DESIGN REVIEW** approval to construct a 1-story, 2-bedroom, 1,456 sf, residence on the vacant parcel located at **1720 VINEYARD AVENUE** in the **MR: MEDIUM DENSITY RESIDENTIAL** district.

**PREPARED BY:** Greg Desmond, Interim Planning Director

**APPLICATION FILED:** 5/7/13

**ACCEPTED AS COMPLETE:** 11/1/13

**LOCATION OF PROPERTY:** 1720 Vineyard Avenue

**APN:** 009-172-022

**GENERAL PLAN/ZONING:** Medium Density Residential/MR: Medium Density Residential

**APPLICANT/ PARCEL OWNER:** Anthony Filippis

**PHONE:** 530.913.9169

**PROJECT BACKGROUND**

At their meeting on August 20, 2013, the Planning Commission continued this item to allow the applicant to address Design Review findings. Specifically, the Planning Commission was concerned about the scale of the proposed residence in relation to the parcel size.

At this meeting the Planning Commission approved the request for a use permit to establish small lot standards to the parcel.

On September 3, 2013, the Planning Commission reviewed revised plans which showed a reduction of 131 sq. ft. (1,727 minus 1,596 = 131). The reduction was accomplished by eliminating a bedroom and bathroom on the first floor. No other changes were made to the project plans.

At this meeting the Planning Commission continued the item and requested that the applicant further revise the plans to better respond to the site.

**PROJECT DESCRIPTION**

The subject parcel is 3,250 sf and is currently vacant.

The applicant is seeking the following:

1. A Lot Line Adjustment to add 500 sf to the existing 3,250 sf parcel.

2. Design Review approval to construct 1,656 sf of new conditioned space, calculated as follows:

- *New 1-story, 2 bedroom residence: 1,441 sf*
- *New attached garage: 215 sf*

Applicable exemptions from floor area:

- *One covered parking space: 200 sf*

**Total adjusted floor area: 1,456 sf**

The new residence will be 1-story and will consist of a great room, kitchen, dining room, bathroom, wine storage, a bedroom and master suite with second bathroom.

The new residence and attached garage will be developed using the following materials:

- *Plaster and Cedar board & batten siding*
- *Oversized windows*
- *Carriage style garage door*
- *Pitched roof*

The height of the proposed structure is 22'.

The setbacks are:

- *Front: 15'*
- *Side yards: 5'*
- *Rear: 20*

**REQUIRED ACTIONS**

1. Determine that this project is exempt from the requirements of CEQA pursuant to Section 15305 Class 5(a) of the CEQA Guidelines, which exempts minor lot line adjustments that do not involve the creation of any new parcel and do not exceed an average slope of 20% and pursuant to Section 15303, Class 3 which exempts the construction of new private structures.
2. Confirm or deny staff decision to approve a Lot Line Adjustment between two parcels located at 1644 Hillview Place (APN: 009-172-023) & 1720 Vineyard Avenue (APN: 009-172-022).
3. Accept, modify or reject the required findings and approve, modify or deny Design Review to construct a new 1-story, 2-bedroom 1,456 sf single-family residence located at 1720 Vineyard Avenue.

**ANALYSIS: GENERAL PLAN & ZONING**

The General Plan designation for the property is Medium Density Residential. This designation allows for single-family detached homes, accessory dwelling units, limited agricultural uses and compatible uses. The property is zoned MR: Medium Density Residential. This zoning district is established for consistency with the Medium Density residential General Plan designation.

**ANALYSIS: CEQA**

Staff finds that the project is exempt pursuant to Section 15303, Class 3 which exempts construction of new private structures.

**ANALYSIS: WATER**

The applicant provided the attached theoretical water use report. The report concludes that post-project water use will result in a deficit of 19 gallons per day. In response, the applicant is proposing an off-site retrofit at the Golden Harvest Restaurant located at 61 Main Street. The retrofit will consist of a restroom sink faucet. The retrofit will result in a savings of 37.5 gallons per day which exceeds the required 19 gallons per day deficit that the proposed residence will generate.

**ANALYSIS: LANDSCAPING**

The applicant is proposing to retain existing trees and to provide a comprehensive landscape plan. The landscape plan includes the following features:

- *Driveway, terrace areas and paths will consist of permeable pavers and/or gravel surfaces*
- *3' 6" stone wall in front yard*
- *Water features in the rear and side yard*
- *Water efficient plant palette*
- *No turf/lawn*

**ANALYSIS: PARKING**

Access to the attached garage is via a driveway directly from Vineyard Avenue. The driveway will consist of decomposed granite and the driveway/garage will accommodate required off-street parking.

**ANALYSIS: LOT LINE ADJUSTMENT**

Parcel #	Address	APN	Existing Lot Size	Proposed Lot Size
1	1720 Vineyard	009-172-022	3,250 sf	3,750 sf
2	1644 Hillview	009-172-023	6,760 sf	6,260 sf

The lot line adjustment will allow parcel 1 to gain 5' (from 32.5' to 37.5') in width which will facilitate the development of the parcel.

The Department of Public Works has reviewed the project and conditionally approves the lot line adjustment. The conditions of approval require further demonstration by the applicant that the adjusted lots and future improvements both conform to local zoning and building requirements and protect against the need for future easements as provided for under St. Helena Municipal Code, Title 16, Section 16.08.070.

**ANALYSIS: SUBDIVISION ORDINANCE**

Lot Line Adjustments are exempt from the Subdivision Map Act and the City's Subdivision Ordinance provided they occur between two or more existing adjacent parcels, no new parcels are created and new parcels conform to the local zoning and building ordinances.

**ANALYSIS: DESIGN REVIEW**

The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. Zoning Ordinance Section 17.164.030 establishes the design criteria under which applications should be considered.

The following design criteria should be considered by the Planning Commission in review of this application (Zoning Ordinance Section 17.164.030):

1. *Consistency and compatibility with applicable elements of the general plan;*
2. *Compatibility of design with the immediate environment of the site;*
3. *Relationship of the design to the site;*
4. *Determination that the design is compatible in areas considered by the Commission as having a unified design or historical character;*
5. *Whether the design promotes harmonious transition in scale and character in areas between different designated land use;*
6. *Compatibility with future construction both on and off the site;*
7. *Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;*
8. *Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;*
9. *Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;*
10. *Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;*
11. *Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;*
12. *Whether natural features are appropriately preserved and integrated with the project;*
13. *Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;*
14. *In areas considered by the Commission as having a unified design character or historical character, whether the design is compatible with such character;*
15. *Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;*
16. *Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;*
17. *Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.*

### **REQUIRED ACTIONS**

1. Determine that this project is exempt from the requirements of CEQA pursuant to Section 15305 Class 5(a) of the CEQA Guidelines, which exempts minor lot line adjustments that do not involve the creation of any new parcel and do not exceed an average slope of 20% and pursuant to Section 15303, Class 3 which exempts the construction of new private structures.
2. Confirm staff's decision to approve a Lot Line Adjustment between two parcels located at 1644 Hillview Place (APN: 009-172-023) & 1720 Vineyard Avenue (APN: 009-172-022).

3. Accept the required findings and approve Design Review to construct a new 1-story, 2-bedroom 1,456 sf single-family residence located at 1720 Vineyard Avenue.

**STAFF COMMENTS / RECOMMENDATIONS**

Staff recommends the Planning Commission confirm the decision of the Interim Planning Director and the Interim Public Works Director to approve a Lot Line Adjustment, as described above and provided in the attached findings and conditions.

The revised project addresses the concerns of staff, the public and the planning commission. For these reasons staff is supportive of the project and finds that the Design Review findings can be made.

**ATTACHMENTS**

Revised design review statement.....	6
Lot line adjustment statement.....	8
Revised plans .....	10
Water report .....	18
Draft conditions .....	25

October 28, 2013

St. Helena City Planning Commissioners

Mr. Greg Desmond, Interim Planning Director

City of St. Helena Planning Department

1480 Main Street,

St. Helena, CA 94574

**RE: Written Statement for Design Review**

Dear Mr. Desmond and Commissioners,

We are requesting a Design Review for a new single family residence with single car Garage located at 1720 Vineyard Avenue, APN 009-172-022. The lot area is proposed at 3,750 sq.ft. with a width of 37.50 ft. A Lot Line Adjustment Application is included in your Design Review package and a request for lot line adjustment is made concurrent with this Design Review request.

The lot is currently undeveloped. Our proposal is for the construction of a one story residence with a total adjusted living area of 1,241sq.ft. This will yield a floor area ratio (FAR) of .33% upon completion of the lot line adjustment. There is an overall roof height of just 22 feet. As indicated on the enclosed Site Plan there is a 15' front yard setback, a 20' rear yard setback, and 5' side yard setbacks.

**DESIGN REVIEW:**

The proposed new residence is reminiscent of our early town architecture and follows a character and style that can be seen in other St. Helena homes. The exterior finish will be plaster along with cedar board and batt accents. Colors will be in the earth tones of natural greys or light tans possibly with washed out lavender accents. The sharp roof pitch with its curved sprocket rafters on the front elevation is playful and provides an easy visual transition in roof line scale.

From Vineyard Avenue, the oversized entry windows with arched top give the front elevation an intimate and inviting approach. The copper roof vent on the

front roof will patina with age and reinforces the idea that this home has existed for some time. The carriage house garage doors and barn style reverse board and batt siding suggest an agricultural heritage.

On the interior, reclaimed exposed truss work in the Great Room and repurposed interior doors are just two efforts to build responsibly and creatively with adaptive reuse in mind. St. Helena's own Green Building Practices will be the springboard for environmental sensitivity in the structure and finish materials.

A Landscape Plan is presented with this request and provides a professionally designed yet simple, low water use solution including many edible and/or draught resistant plants in planting beds. Two large specimen olive trees are shown to be planted at the street elevation. The existing 42" Douglas Fir tree, also located at the street elevation is to remain along with the existing Oak tree and has been accommodated in our Landscape Plan.

Thank you in advance for your time in consideration of our proposal.

Best Regards,

A handwritten signature in black ink, appearing to read "Anthony and Lisa Filippis". The signature is written in a cursive, flowing style with a long, sweeping underline that extends to the right.

Anthony and Lisa Filippis

October 28, 2013

St. Helena City Planning Commissioners

Mr. Greg Desmond, Interim Planning Director

City of St. Helena Planning Department

1480 Main Street,

St. Helena, CA 94574

**RE: Written Statement for Lot Line Adjustment**

Dear Mr. Desmond and Commissioners,

We are requesting a Lot Line Adjustment as part of the Design Review process for our proposed new single family residence to be constructed on our lot located at 1720 Vineyard Avenue, APN 009-172-022. This lot area is currently 3,250 sq.ft. It is within the Medium Density Residential Zoning District and is to be developed under Small Lot Development standards.

Because of the extreme narrow width of the lot (32.5 ft.) making development difficult, and because of concerns of neighbors and Commissioners in the challenging application of City development standards, a lot line adjustment seems both applicable and propitious.

As a result, we have written agreement with our neighbor to the East (Carol Parr) for the adjustment of our common Northeast property line. This Agreement (attached) allows for an additional five feet by one hundred feet (5' x 100') strip of land and results in a new overall property dimension of 37.5ft. x 100ft for our lot. The existing and proposed (adjusted) lot lines are clearly identified on that Site Plan/Lot Line Adjustment Map included as part of this request.

In short, our lot would increase five hundred square feet from 3,250sq.ft. to a new total of 3,750sq.ft. Carol Parr's lot, APN 009-172-023, would decrease five hundred square feet from 6,760sq.ft. to a new total of 6,260sq.ft.

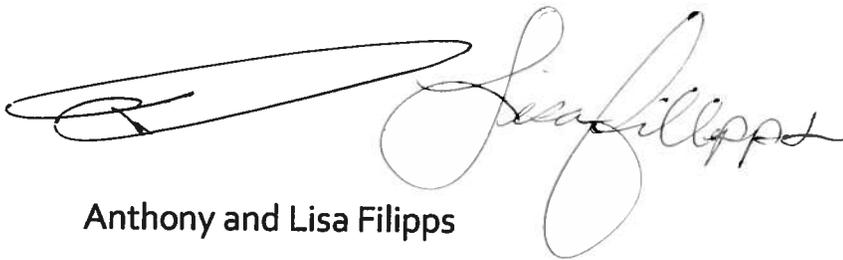
Pursuant to our last Design Review meeting and subsequent meeting with Director Desmond an emphasis was placed on an adjusted Floor Area Ratio to not exceed .36%. With the proposed Lot Line Adjustment and redesigned single story home, our new proposed FAR comes in at .33%.

Please refer to the Written Statement for Design Review, enclosed as part of this application, for additional information specific to our new home design and property setbacks.

In summary, there would appear to be a mutually beneficial gain between land owner and community in the granting of this proposal.

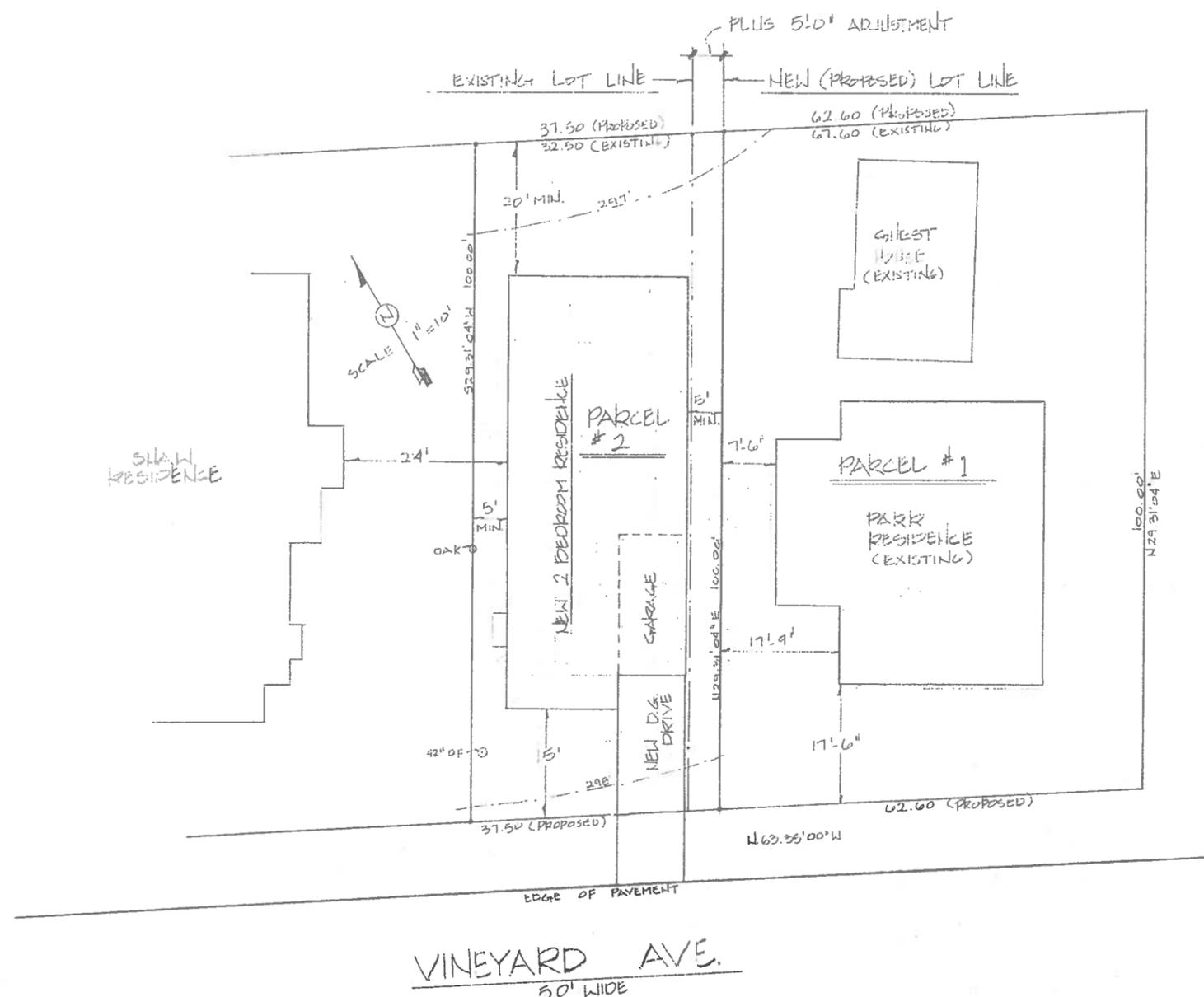
Thank you in advance for your time and consideration in this matter.

Best Regards,

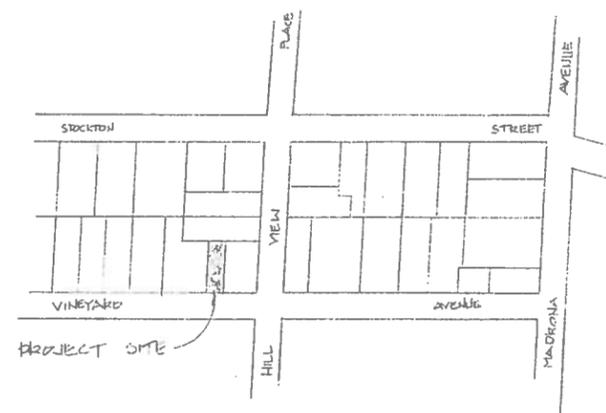
A handwritten signature in black ink, appearing to read "Anthony and Lisa Filippis". The signature is written in a cursive style with large, flowing loops and a long horizontal stroke at the beginning.

Anthony and Lisa Filippis

REVISIONS	BY
3/21/13	AF
8/21/13	AF
10/24/13	AF



SITE PLAN / LOT LINE ADJUSTMENT MAP  
1" = 10'-0"



PLOT PLAN  
NTS

**SITE ADDRESS:**  
1720 VINEYARD AVENUE  
SAINT HELENA, CALIFORNIA  
APN: 009-172-022

**PROJECT INFORMATION:**  
NEW RESIDENCE ————— 1,441 sq. ft.  
NEW GARAGE (215 sq. ft.)  
EXEMPTION FOR OFF STREET PARKING - (200 sq. ft.)  
TOTAL ADJUSTED FLOOR AREA - 1,241 sq. ft.

**LOT LINE ADJUSTMENT**  
PER DOC. NO. 2007-001844B  
PARCEL # 1 - EXISTING AREA = 6,760 sq. ft.  
= 1644 HILLVIEW PLACE - APN 009-172-023  
AREA ADJUSTED 5' x 100' = (500 sq. ft.)  
PARCEL AREA AFTER ADJ. = 6,260 sq. ft.

PARCEL # 2 - EXISTING AREA = 3,250 sq. ft.  
= 1720 VINEYARD AVE. - APN 009-172-022  
AREA ADJUSTED 5' x 100' = 500 sq. ft.  
PARCEL AREA AFTER ADJ. = 3,750 sq. ft.

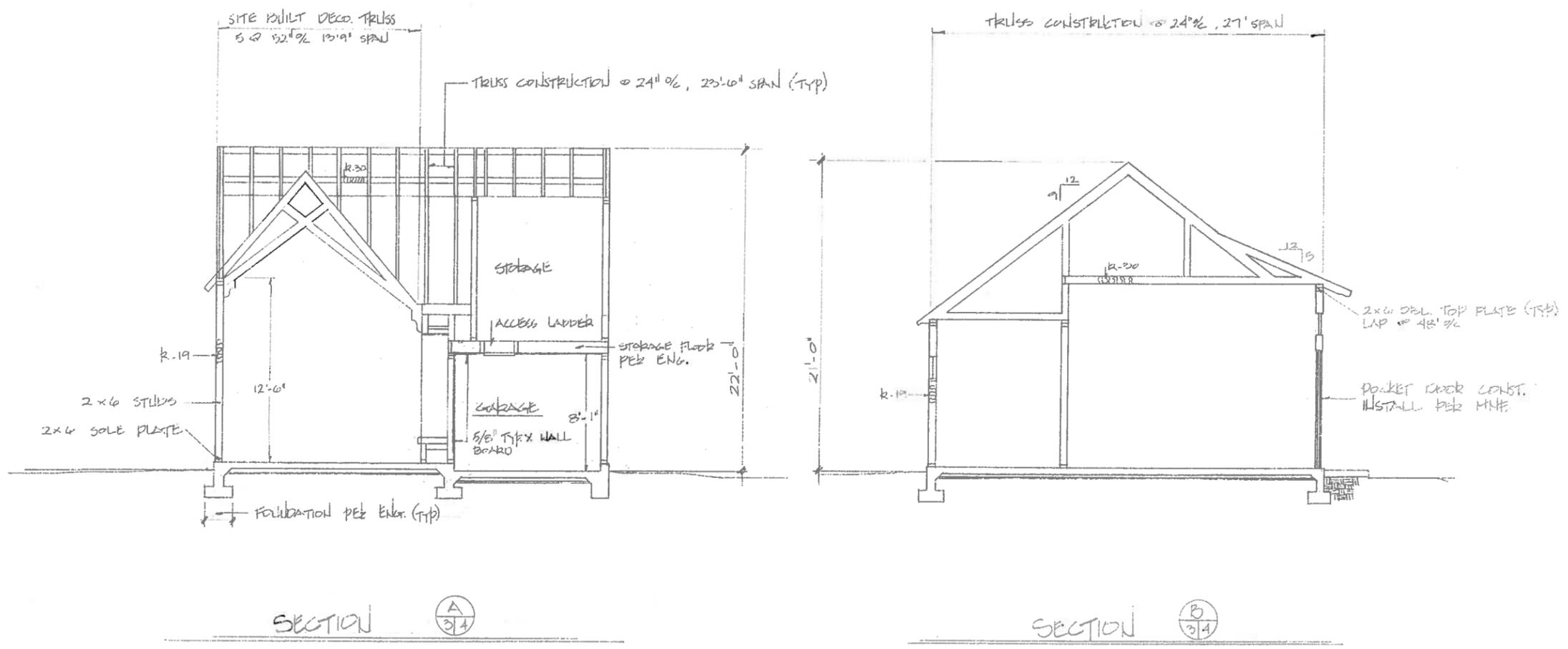
**RECEIVED**  
OCT 28 2013

Owner: Anthony & Lisa Filippis  
934 Signorelli Circle  
Saint Helena, California 94574

DRAWN	AF
CHECKED	AF
DATE	4/22/13
SCALE	AS SHOWN
JOB NO.	
SHEET	1
OF 4 SHEETS	

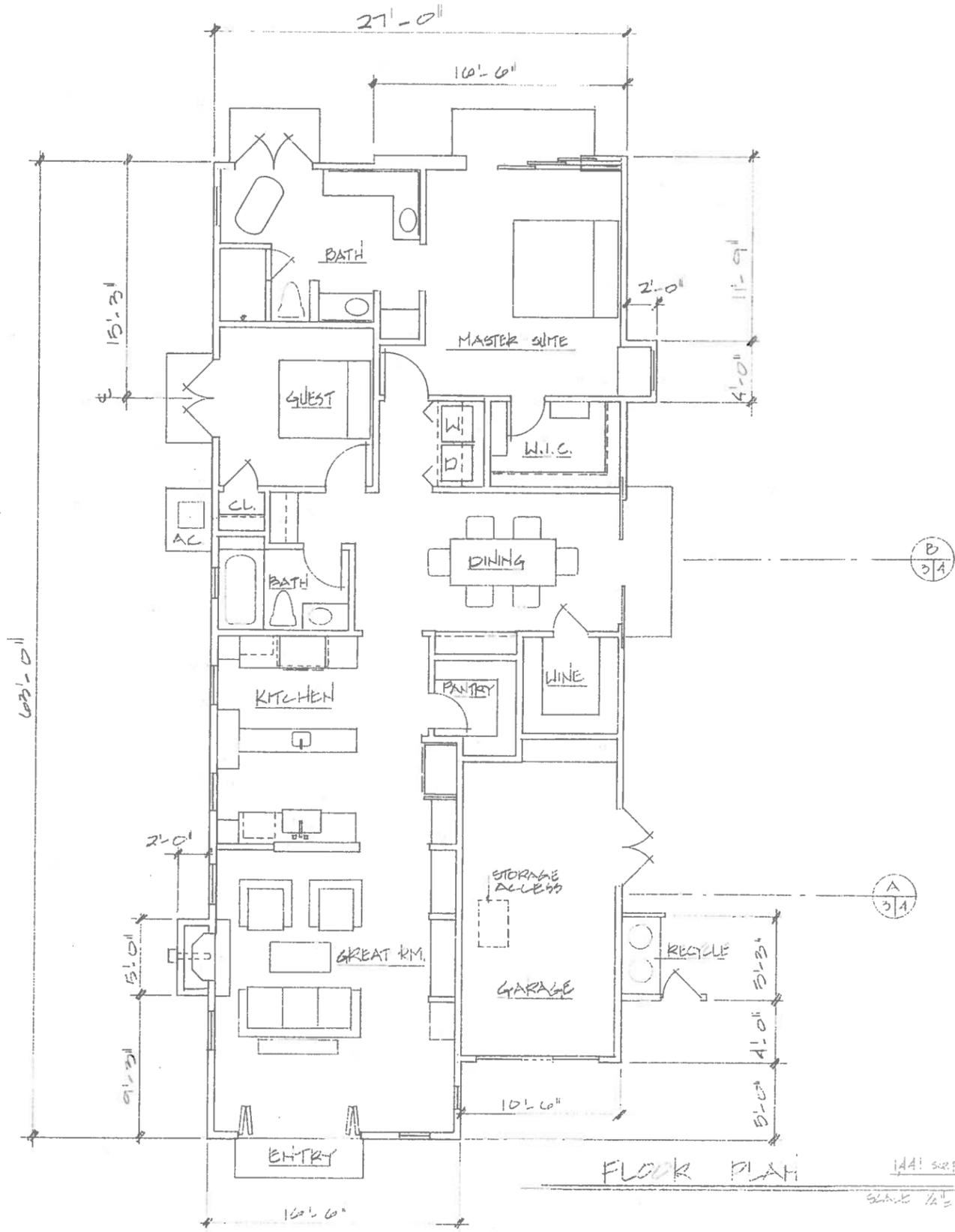
CITY OF ST. HELENA

REVISIONS	BY



Owner: Anthony & Lisa Filippis  
 934 Signorelli Circle  
 Saint Helena, California 94574

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DATE 10/25/15
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JOB NO.
SHEET 4
OF 4 SHEETS

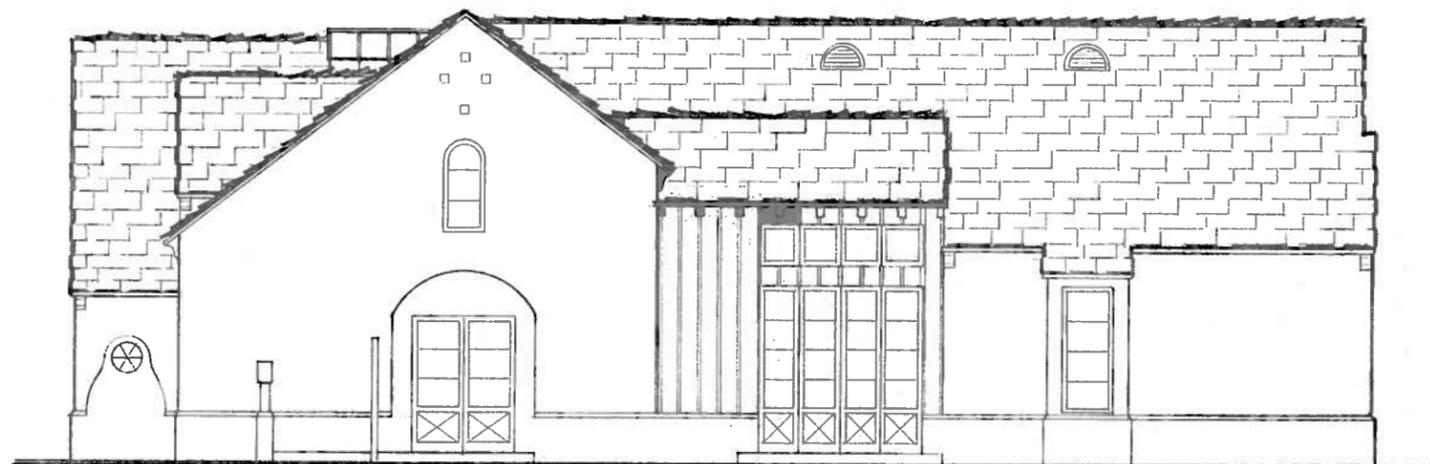


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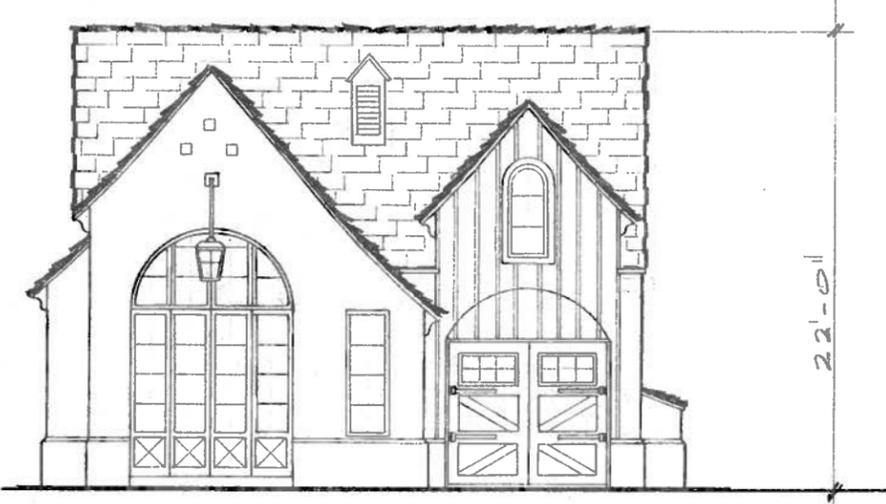
Owner: Anthony & Lisa Filippis  
 934 Signorelli Circle  
 Saint Helena, California 94574

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OF 3 SHEETS

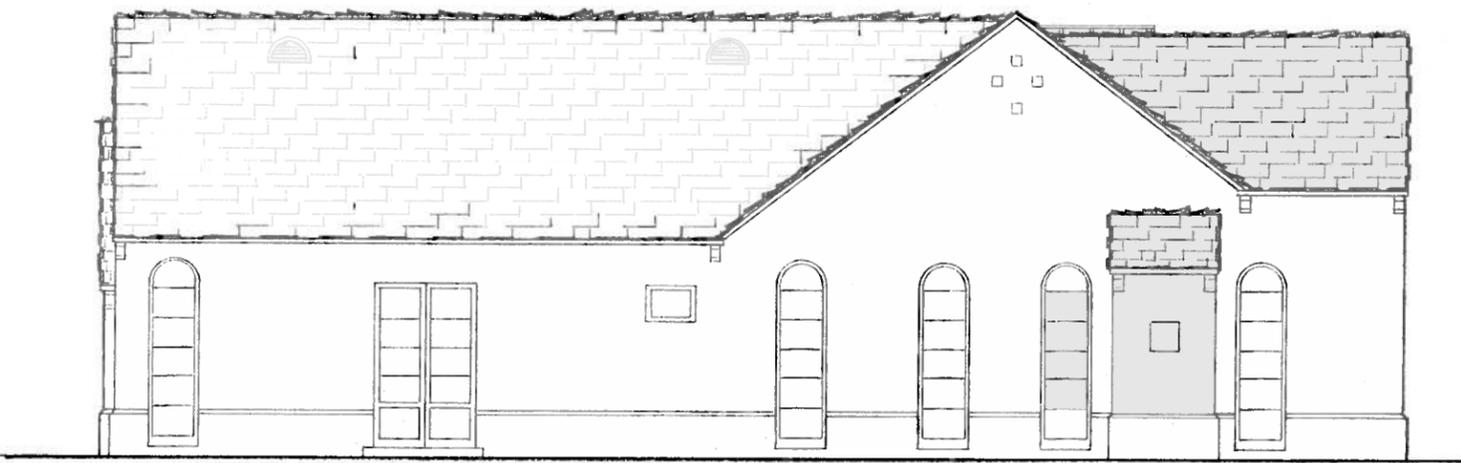
REVISIONS	BY



RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



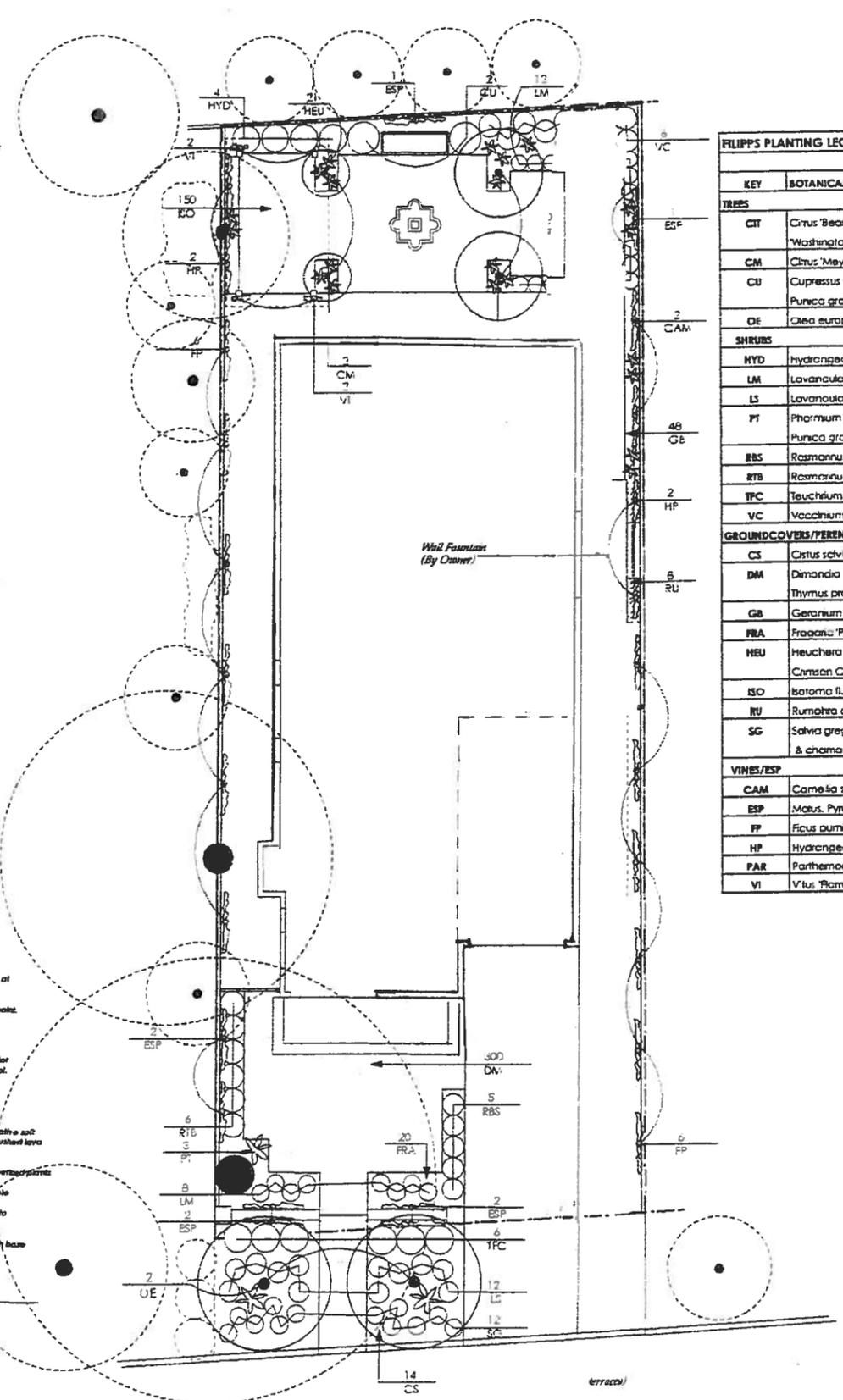
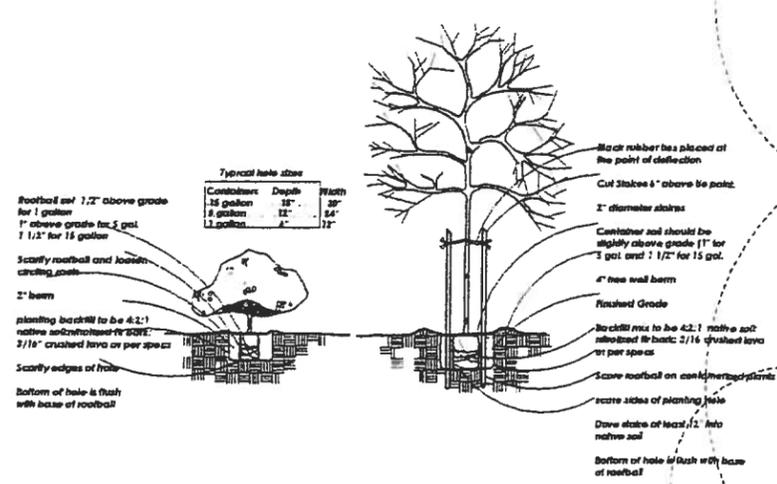
REAR ELEVATION

Owner: Anthony & Lisa Filippis  
 934 Signorelli Circle  
 Saint Helena, California 94574

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JOB NO.	
SHEET	2
OF	4 SHEETS

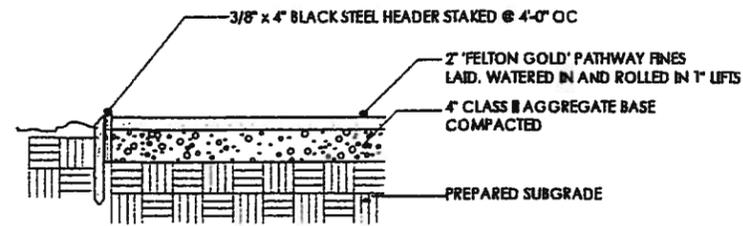
**LANDSCAPE & PLANTING NOTES**

- All plant material shall be approved by the Landscape Architect prior to installation and will be rejected if not in accordance with industry standards. Substitution requests to be made to the Landscape Architect for approval prior to site delivery.
- The plant count is for the convenience of the Landscape Contractor. In case of a discrepancy with the plan, the plan count shall govern.
- All proposed planting areas shall be cleared of any weeds and debris prior to soil preparation. In the case of perennial weeds, an organic systemic herbicide or sheet mulching shall be applied prior to clearing.
- No soil preparation shall take place in areas where soil is contaminated with cement, plaster, paint or other construction debris. All contaminated soil shall be removed and replaced with a friable sandy loam capable of sustaining healthy plant life and containing no noxious weeds or debris.
- All planting operations shall be performed by personnel familiar with this type of work and under the supervision of a qualified planting foreman.
- A minimum of one foot depth of non-mechanically compacted soil is available for water absorption.
- The Landscape Contractor shall supply and cultivate 6 cubic yards per 1000 square feet organic amendment or compost into the top 6" of all proposed planting areas.
- Plant Material shall have the follow backfill mix: 30% native soil, 10% 3/16" Lava rock, 60% coarse friarock available thru Den-Beste Topsoil @ (707) 894-3781 or 50% native soil and 50% organic compost available thru Upper Valley Compost. Holes to be 2x the diameter x the depth of the plant container. See tree and shrub planting details for additional information.
- Prior to planting**, the final location of all plant material to be determined in the field by the Landscape Architect. The Landscape Contractor shall give three (3) days notice prior to planting placement date.
- Planting areas shall receive a 3" layer of "black wood ground mulch or recycled arbor mulch available thru Upper Valley Compost or #2 black mulch available thru Clark's Rock or Den Beste of Cloverdale. Mulch to be spread after container planting. Mulch to be spread after container planting but prior to groundcover planting. The Landscape contractor shall provide a bark sample to the Landscape Architect prior to shipping to site.
- The Landscape Contractor shall guarantee all new plantings for a duration of six months. The guarantee period shall begin after the final inspection and approval.
- 15 gallon standard trees shall be staked with 2 - 2" diameter x 80" lodgepole pine tree stakes and 2 ties per planting detail.
- 60 day establishment maintenance to be provided upon final approval of landscape installation.
- Planting and irrigation shall conform to the City of St. Helena WEPO Guidelines.
- Plant material to be irrigated with pressure compensating drip emitters and "Smart" controller inclusive of a rain sensor.

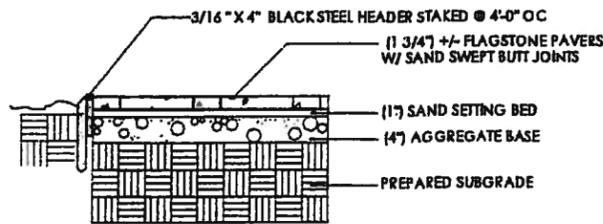


**FILIPPS PLANTING LEGEND** 8/5/13

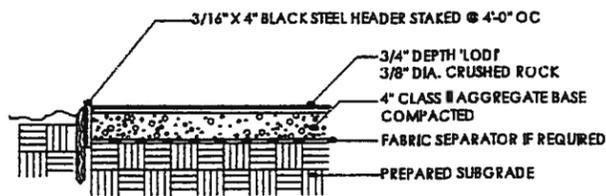
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
<b>TREES</b>					
CIT	Citrus 'Beas Lime', Lisbon Lemon or 'Washington Naval Orange'	Cold Hardy Semi Dwarf Citrus	2	15 gallon	Standard
CM	Citrus 'Meyer Dwarf'	Dwarf Meyer Lemon	2	5 gallon	Multi
CU	Cupressus sempervirens or 'Purica granatum' 'Wonderful'	Italian Cypress or Pomogranite	2	15 gallon	Accent Fruit
DE	Olea europaea 'wisoria' or 'Swan Hill'	Fruitless Olive - Low branching	2	7/8" Box	Drought Tolerant
<b>SHRUBS</b>					
HYD	Hydrangea m. 'Blue Wave' or 'aquaticola'	Orn or Oakleaf Hydrangea	4	5 gallon	Foliage
LM	Lavandula 'Munstead Dwarf'	Dwarf English Lavender	20	3 or 5 gallon	Flowers/Herb
LS	Lavandula stoechas or 'Quasi'	Spanish Lavender	12	5 gallon	Flowers/Herb
PI	Phoridium tenax 'Maori Queen' or 'Burgundy' or 'Purica granatum' 'nanum'	Apricot or Red New Zealand Box Dwarf Pomogranite	3	5 gallon	Foliage
RBS	Rosmarinus 'Blue Spire'	Blue Spire Rosemary	5	5 Gallon	Flowers/Herb
RTB	Rosmarinus 'Tuscan Blue'	Tuscan Blue Rosemary	4	5 gallon	Flowers/Herb
TFC	Teucrium fruticans 'Compacta'	Bush Germander	6	5 gallon	Flowers/Foliage
VC	Vaccinium corymbosum or avallum 'Wunderlich'	Blueberry or Huckleberry	6	5 Gallon	Fruit
<b>GROUNDCOVERS/PERENNIALS</b>					
CS	Cistus salvifolius 'Prostratus'	Creeping Soapwort / Rockrose	14	1 gallon	30" OC Color
DM	Dianthus margaritae, Chamaemelum nobile or Thymus praecox 'Elfin'	Silver Carpet, Chamomile or Creeping Thyme	800 +/-	Plugs-3"x3"	6" - 8" OC (Sun)
GB	Geranium bicolor and 'Roxanne'	Scented & Blue Geranium	48	4" pot	30" OC-Color
FRA	Fragaria 'Pink Panda'	Edible Strawberry	30	4" pots	30" OC - Fruit
HEU	Heuchera 'Purple Palace', 'Starry Seas', 'Crimson Curt', 'Midnight Claret'	Assorted Purple Coral Bells, Assorted Red Coral Bells	21	1 gallon	Flowers/Foliage
ISO	Isotoma fluvalis	Blue Star Creeper	150 +/-	Plugs 3"x3"	6" - 8" OC (Shade)
RU	Rumex crispifolius	Leatherleaf Fern	8	1 gallon	24" OC
SG	Salvia greggii 'Furman's Red' & 'Hot Lips' & chamaedryoides	Red Sage, Blue Sage	12	1 gallon	Flowers
<b>VINES/ESP</b>					
CAM	Camelia sasanqua 'Setugetko' 'Esada'	White Sasanqua Camellia	2	5 gallon	Flowers
ESP	Morus, Pyrus, Ficus species	Assorted Espaliered Fruit Trees	8	5 gallon	Fruit
FP	Ficus pumila	Creeping Fig	6	5 gallon	Evergreen
HP	Hydrangea petiolaris	Climbing Hydrangea	4	5 gallon	Espalier - Flowers
PAR	Parthenocissus mcxandata	Boston Ivy	3	5 gallon	Foliage
VI	Vitis 'Roma' & Thompson Seedless	Table Grapes	4	5 gallon	Fruit



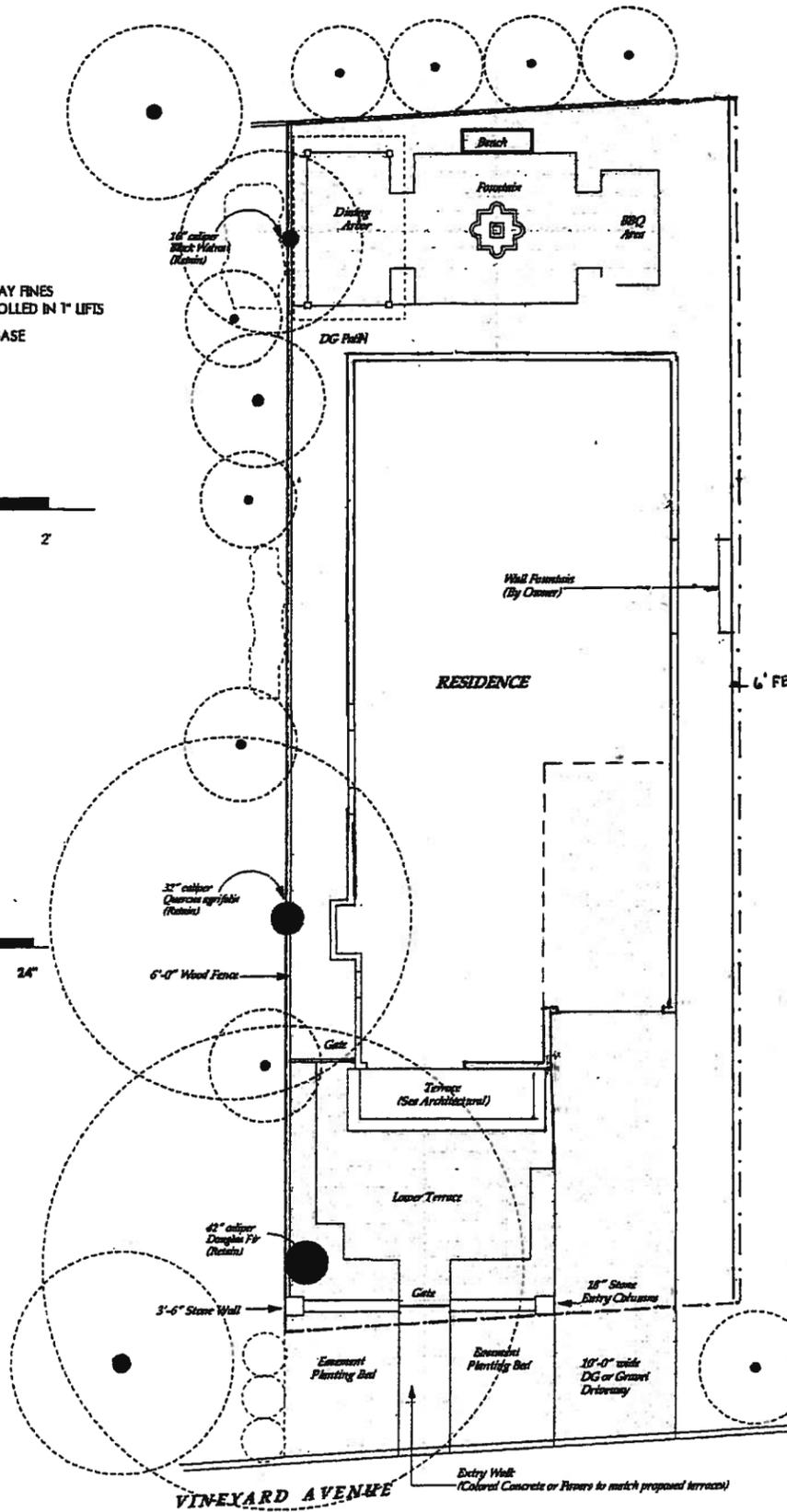
**DECOMPOSED GRANITE PAVING W/ HEADER**  
0" 6" 1' 2'



**FLAGSTONE ON AGGREGATE BASE**  
0 6" 12" 24"



**GRAVEL PAVING W/ HEADER**  
0 4" 12" 24"

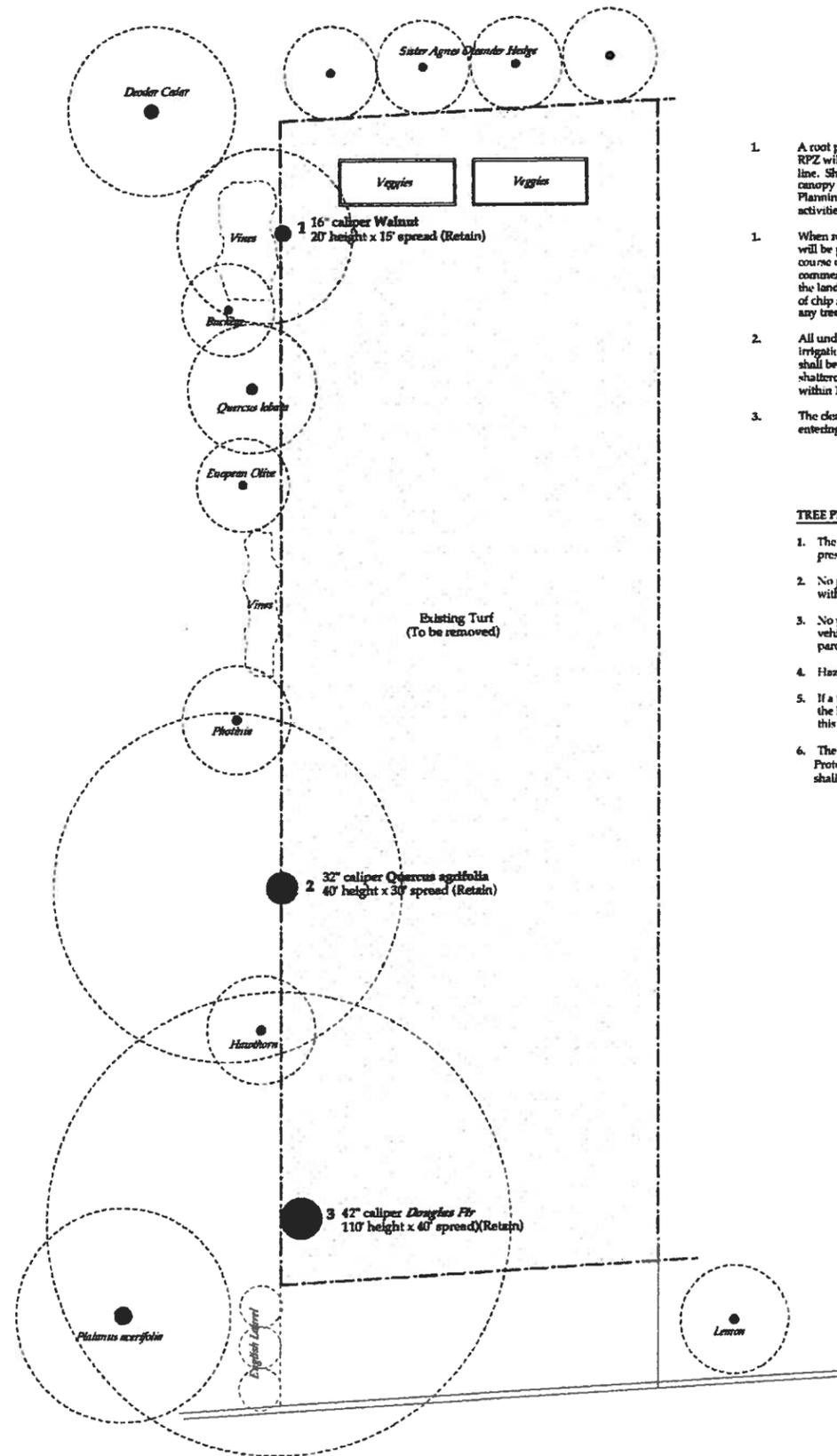


LAYOUT & SITE AMENITIES LEGEND	
KEY	DESCRIPTION
	PROPOSED FOUNTAIN: 45.5\"/>
	STONE OR TILE PAVING ON CLASS 11 BASE/ROCK W/ 3\"/>
	PLANTING BEDS TO BE AMENDED AND MULCHED (SEE SHEET L2)
	PROPOSED SYARSTONE WALL: 3.6\"/>
	PROPOSED 3/8\"/>
	PROPOSED 0-3/8\"/>
	PROPOSED DINING ARBOR (9' X 15' +/-) (LEGEND SIZE REDUCED) (SEE PLAN)
	PROPOSED WALL WATER FEATURE BY OWNER
	EXISTING TO REMAIN TREES (SEE EXISTING VEGETATION PLAN SHEET L1 & NOTES)

**LAYOUT NOTES**

- The contractor shall verify all dimensions, distances and grades in the field and bring any discrepancies to the attention of the landscape architect for a decision prior to commencing with work. The contractor is responsible for all applicable permits and for performing all work per applicable codes.
- All written dimensions supersede scaled distances, dimensions are from face of building, face of curb or wall, centerline, property line, or as noted on the plans.
- The contractor shall verify location of all utilities on site before commencing with any work. Any disruption or damage to utilities caused by work under this contract shall be corrected by this contractor at no additional cost to owner.
- The contractor shall perform all clearing, demolition, removal and site preparation necessary for the proper execution of all work shown on these drawings and/or described in the specifications. Removal of any existing facilities shall include oil sub base and base rock. In the case of plant material, the contractor shall completely remove the main trunk and significant roots to 18\"/>

The contractor shall remove from the site all debris and unsuitable material generated by his operations.

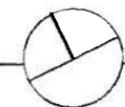


**CONSTRUCTION GUIDELINES AND RESTORATION SPECIFICATIONS FOR OAKS**

1. A root protection zone (RPZ) shall be established prior to commencement of any activities relating to this project. The RPZ will be marked clearly with a four foot high visibility fence. The fence shall be placed around each tree at the drip line. Should canopies of the preserved trees overlap, a continuous fence shall be used to define the area of the entire canopy spread. The fence shall not be altered or removed by anyone other than a designee from the Napa County Planning Department, the arborist, or arborist representatives. The fence shall remain on site until all construction activities are completed.
1. When removing surplus soils that have been piled within the RPZ, a tractor with rubber tires shall be used. All soil will be pulled away from the main stems radially. The arborist or arborist representative must be on site during the course of this work. A 24 hour notification shall be given to the arborist or arborist representative prior to its commencement. A minimal amount of soil will be removed. The final grade will be determined by the arborist and the landscape Architect. Once the grade is established, the RPZ shall be re-fenced as specified above. A 12 inch layer of chip mulch will be spread evenly within the reestablished RPZ. Mulch will not be placed against the main stem of any tree being preserved.
2. All underground and overhead utility services shall be routed around the RPZ. Surface preparation for landscape irrigation is to be done by hand when entering the RPZ. When roots are encountered, those over 2 inches in diameter shall be tunneled under, leaving the bark intact. Those roots under 2 inches in diameter will be pruned neatly to avoid shattered material or irregular cuts. Any roots encountered outside the RPZ will be pruned neatly and promptly to within 16 inches of the fenced region.
3. The cleaning of all construction equipment will be done outside the existing RPZ to discourage toxic leach aides from entering into sensitive root zones.

**TREE PROTECTION NOTES**

1. The General Contractor shall install orange tree protection fencing around the drip line of all trees to be preserved within construction zones.
2. No person shall damage any tree without first reviewing the necessity, alternatives, and mitigation measures with the Landscape Architect or arborist.
3. No person shall damage or harm any preserved trees by any means whatsoever including, without limitation, vehicles, machinery, building supplies or materials (including fluids) for the duration of any construction on the parcel.
4. Hazardous materials of all forms shall not be used or stored within the drip line of preserved trees.
5. If a tree root of 3 inch or greater caliper is encountered at any time, the General Contractor or Owner shall notify the Landscape Architect or arborist immediately prior to further activity in the area of the exposed root. Work in this area shall not continue without authorization from the arborist.
6. The Landscape Contractor or Owner shall insure continued protection of existing trees. Protection devices installed by the General Contractor at the start of construction shall remain in place during the duration of construction activities.



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August 29, 2013

Mr. John Ferons, PE  
Public Works Director  
1480 Main Street  
Saint Helena, CA 94574

Subject: Theoretical Domestic Water Demand

Re: Anthony Filippis new Residence – Design Review  
1720 Vineyard Avenue, St. Helena, CA 94574  
APN 009-172-022

Dear Mr. Ferons,

In accordance with the City of Saint Helena “Safe Water Yield” code, this report is to determine the “water-neutral” differential for this proposed residence. The above identified parcel of land was subdivided as part of the Worrel Ward Subdivision map of 1889 (RM Book 1 Page 52). To date it has never had a water use structure, but has a history irrigation history of lawn landscaping and border planters. The following is the analysis for your consideration and use.

**Domestic Use**

Existing

The previous water use of the property was lawn and boarder planter areas. No habitable structure was ever located on this parcel.

Present Demand            0 gal/day

Proposed Theoretical Domestic Water Demand

The proposed 2 bedroom, 2 bath residence will be equipped with water efficient fixtures and appliances throughout. These fixtures and appliances will abide by the California Green Building Standard (Table 4.303.2) and the more stringent City code (City’s Water Neutral Policy), calculated as follows:

Domestic Demand for New Construction

Fixture Type	Flow Rate (gpm)	Uses*	Duration (min.)	Flow (gal/day)
Showerhead	2	4	8.0	64.0
Lavatory Faucet	1.5	12	0.25	4.5
Kitchen Faucet	1.5	4	4	24.0
Water Closet	1.3	12		15.6
Dish Washer	6.3	0.4		2.5
Clothes Washer	19.7	1.48		29.1
<b>Total</b>				<b>139.7</b>

\*For two (2) bedrooms allow four (4) occupants

**Landscape Water Demand**

Existing Irrigation Demand

The only water use of this parcel was irrigation of lawn and border planters. This section determines the irrigation demand for the existing fescue lawn, planter and border planting areas on the property using the California Irrigation Management Information System (CIMIS) formula. The following table determines the maximum theoretical use in gallons per year.

Irrigation Use	SF	MAWA*	Flow (gal)
Lawn	<b>2,160</b>	37.94 X 0.62 X 2160	50,809
Planter	<b>1,040</b>	37.94 X 0.62 X 1040	24,463
<b>Total</b>			<b>75,272</b>

\*ETWU was a smaller number than MAWA

Considering the 5 year running average usage the City typically uses to determine historic use, and the property owner stating that she had stopped irrigating this parcel when a property line fence was erected two years ago, this gives a historic usage of 75,272 gal. times 3/5 or 45,163 gal. per year.

Historic Irrigation Demand      123 gal/day

Proposed Irrigation Demand

The proposed area for landscaping on the parcel is **600 square feet**, as per the attached Appendix A prepared by Cagwin Landscape Architect, Maximum Applied Water Allowance (MAWA). Because the MAWA is more than the Estimated Total Water Use (ETWU), I used the MAWA for the proposed water budget of 8,468 gallons per year. On a per day basis that is 23 gal/day.

New Irrigation Demand      23 gal/day

**Summary**

The proposed construction of a single family 2 bedroom, 2 bath residence, on a lot that had a history of being a rear yard, the following table analysis summarizes the calculations of this study:

Water Use	Daily Use (gal/day)
Baseline Domestic Use	0
Proposed Domestic Use	-140
Baseline Irrigation	123
Proposed Irrigation	-23
Average Daily Total	19 deficit

**Conclusion**

The water balance for this single lot development is 19 gallons per day deficit, as shown in the table above. To meet the City’s “water neutral” development, it is proposed that this developer retrofit the public bathroom sink faucet at the Golden Harvest Restaurant, located at 61 Main Street, St. Helena. See table below for calculation. The faucet would be replaced with a California Green Building Code approved faucet that has a mechanical auto-off feature and a 0.5 gpm flow rate. Retrofitting of the sink faucet at this restaurant would save 37.5 gal/day, more than meets the required deficit of 19 gal/day for the proposed residential development, achieving the City of St. Helena’s “Safe Water Yield” policy.

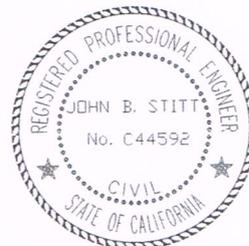
Fixture Type	Flow Rate* (gpm)	Uses per day	Duration (min.)	Flow (gal/day)
Lavatory Faucet	1.5	100	0.25	37.5
<b>Total</b>				<b>37.5</b>

\*Based on 2.0 gpm existing baseline and 0.5 gpm for non-residential faucet (CA Green Building Code 2010)

Should you have any questions please do not hesitate to call me at 707-235-8193.

Sincerely,

John Stitt, PE



Atmt: City Water Neutral Policy Memorandum  
Cagwin Landscape Architect water analysis

# St. Helena Water Neutral Policy for Development

## City Codes Relating to Water Use

The 1993 General Plan provides at policy 9.2.1 that "new development" shall be contingent upon the ability of the City to provide water without exceeding safe yield.

Pursuant to the City Council meeting of March 22, 2011, the City Council adopted the definition of "Safe Yield" as proposed by the Safe Water Yield Committee as follows:

"The safe annual yield of the St. Helena water supply system is that quantify of water which can be reliably delivered on an annual basis through most rainfall years, including a Dry year (rainfall at 22" to 25.9") without undue hardship on water customers through water shortage restrictions. It is recognized that the safe annual yield, as so defined, could place significant hardship on water customers in a Critically Dry Year (rainfall at 21.9" or less) or in periods of two or more consecutive Dry Years."

The City's Safe Water Yield Committee recently reported that the St. Helena potable water supply system, under current conditions, **is not currently in balance** under the definition of safe yield as adopted by the City Council.

Per the City Council meeting of March 22, 2011, item 17, the CC adopted the definition of Safe Yield as proposed by the Safe Yield Committee, and it is now City policy. This policy will therefore be applied to new development.

"New development" means any of the following construction projects that have not received a certificate of occupancy from the city or county building department prior to September 13, 1994, or that was issued a building permit and did not construct a foundation prior to September 13, 1994:

1. Any freestanding building that contains water-using fixtures;
2. Any floor area additions to existing nonresidential structures;
3. Any residential additions or remodeling that increases the number of independent living units.

## Water Demand Analysis

The applicant must be water-neutral (from the City-delivered water system) through any combination of on-site water conservation measures and/or off-site retrofitting and/or well water. Water neutrality shall be demonstrated in a quantitative water analysis of the project.

The analysis must consist of the calculation of the baseline existing demand, the proposed water demand, a comparison of the two and the proposed retrofits to achieve a zero water use increase from the proposed development. Flows are calculated in gallons per day (gpd) with two (2) occupants per bedroom. Offices, dens, tv rooms, etc. are considered bedrooms with or without a closet.

If onsite retrofits cannot achieve net zero increase, the developer shall identify offsite retrofits. The City does not maintain a list of offsite retrofit needs. Per City Municipal Code 13.12.050, the developer shall be responsible for identifying residential or nonresidential properties eligible for retrofitting and verify to the department of public works that the required number of retrofits have been completed prior to the issuance of a certificate of occupancy.

Existing

Use of the flows from the Napa County Alternative Sewer Treatment System Standards to calculate existing water use is acceptable to the City Public Works Department. The commercial standards are attached; for residential projects, use of 150 gpd/bedroom is accepted. For onsite irrigation with City water, calculation of actual usage is obtained by ascertaining the number of drippers/sprinklers and the time watered and using 75% of the total value, assuming no irrigation in the winter months.

Proposed

Proposed water conservation efforts shall be compared to those existing flows quantitatively. Those standards can be found at websites for the LEED standards, Energy Star standards and major cities like San Francisco’s water conservation guides. Water conservation devices proposed in the water analysis will be required by conditions of approval, must be included on the building plans and inspected/verified at certificate of occupancy.

Acceptable theoretical demand for residential flows/uses:

- Toilet 3 flushes/day/occupant
- Faucet 0.25 min/3 times/day/occupant
- Shower 8 min/shower/day/occupant
- Kitchen faucet 4 min/day/occupant
- Clothes washer 0.37 load/day/occupant
- Dishwasher 0.1 load/day/occupant

Typical calculation:

Fixture	Flow Rate		Flow Duration		Daily Uses		Number of		Gallons per Day
	gal/min or gal/flush		(min., flush, load, etc.)		per Occupant	Occupants			
Showerheads	2	x	8	x	1	x	10	=	160
Sink Faucets	1.5	x	0.25	x	3	x	10	=	11
Kitchen Faucet	1.5	x	4	x	1	x	10	=	60
Toilet	1.3	x	1	x	3	x	10	=	39
Clothes Washer	19.7	x	1	x	0.37	x	10	=	73
Dish Washer	6.3	x	1	x	0.1	x	10	=	6

Great strides have been achieved by applicants through the use of low flow toilets, waterless urinals, sensor driven faucets, smart yard sensors, low flow dishwashers and washing machines. Retrofitting off-site is acceptable, though the City does not maintain a list of facilities.

Retrofit fees are not being accepted by the Public Works Director in lieu of actual retrofit applications.

**TABLE 4**

TYPE OF OCCUPANCY	GALLONS PER DAY
<b>Airports</b>	5 per passenger
<b>Campgrounds:</b>	
Campground with central comfort station	35 per person
Campground with flush toilet, no showers	25 per person
Day Camps (no meals)	15 per person
Luxury Camp, private bath	100 per person
Summer and seasonal	50 per person
<b>Churches (sanctuary)</b>	5 per seat
With kitchen wastes	7 per seat
<b>Country Club</b>	125 per person
<b>Factories</b>	35 per person per shift
<b>Hospitals</b>	250 per bed space
Kitchen waste only	25 per bed
Laundry waste only	40 per bed
Hotels/Motels with private bathroom (no kitchen waste)	60 per two person room
Hotels/Motels without private bathroom (no kitchen waste)	50 per two person room
Hotel/Motel with private bath and kitchen	75 gallons per person
<b>Institutions other than hospitals</b>	125 per bed space
<b>Movie Theaters</b>	5 per seat
<b>Offices</b>	20 per employee
Picnic parks with toilets and showers	10 per person
Picnic parks with toilet waste only	5 per person
<b>Resort camps with limited plumbing</b>	50 gallons per person
<b>Restaurants:</b>	
Kitchen waste (multi-use utensils)	5 per meal served
Kitchen waste (disposable utensils)	3 per meal served
And add the following for type of facility present:	
Conventional sit down	10 per person
Short Order	8 per person
Bar and Cocktail	3 per person
<b>School (non-boarding)</b>	20 per student
With gym and showers add	5 per student
With cafeteria using disposable utensils	3 per meal served
<b>Self service laundries</b>	50 gallons per wash
<b>Service station</b>	10 gallons per vehicle served
<b>Retail stores</b>	20 per employee
For public restrooms add	1 per 10 square feet
<b>Swimming pools and bathhouses</b>	10 per person
<b>Tourist camps or mobile home parks with individual bath units</b>	100 per person
<b>Tourist camps or trailer parks with central bathhouse</b>	75 per person
<b>Work or construction camps (semi-permanent)</b>	50 per person
<b>Wine tasting facility (no meals served)</b>	3 per person
<b>Employee</b>	15 per employee

**Appendix A**

**Maximum Applied Water Allowance**

The following calculations will help you determine your site specific water budget and establish a planting mix that will allow you to meet your water budget. Your Estimated Total Water Use must be less than your Maximum Applied Water Allowance.

1.) **Maximum Applied Water Allowance (MAWA)**

$$MAWA = (ET_o) (0.62)[(0.6 \times LA) + (0.4 \times SLA)]$$

Where:

- ET<sub>o</sub> = Annual Net Reference Evapotranspiration (inches)
- 0.6 = ET Adjustment Factor
- LA = Landscaped Area (square feet)
- 0.62 = Conversion factor (to gallons per square foot)
- SLA = Portion of the landscape area identified as Special Landscape Area (square feet)
- 0.4 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.6 = 0.4)

A.) Net Evapotranspiration Calculation

45.22 <i>(Annual ET<sub>o</sub>)</i>				
29.12 <i>(Annual Rainfall)</i>	x	.25	=	7.28 <i>(Effective Rainfall)</i>
Net Evapotranspiration Calculation = Annual ET <sub>o</sub> - Effective Rainfall				= 37.94

B.) Adjusted Landscape Area Calculation

600 <i>(Landscaped Area)</i>	x	0.6 <i>Adjustment Factor</i>	=	360
(Special Landscaped Area)	x	0.4 <i>Adjustment Factor</i>	=	0
Sum of Adjusted Landscape Area =				360

MAWA = 37.94 x 0.62 x 360 = 8468 gallons

2.) **Estimated Total Water Use (ETWU)**

A.) Net Evapotranspiration Calculation

Net Evapotranspiration Calculation = Annual ET<sub>o</sub> - Effective Rainfall = 37.94

B.) Adjusted Landscape Area Calculation

250 <i>(Low water use plant sqft)</i>	x	0.3	=	75
350 <i>(Moderate water use plant sqft)</i>	x	0.6	=	210
(High water use plant sqft)	x	1.0	=	0
Sum of Adjusted Landscape Area =				285

ETWU = 37.94 x 0.62 x 285 / 0.85 = 7887 gallons

Irrigation Efficiency Factor		
Percent of total landscape irrigated with Drip		
0-25%		0.71
26-50%		0.75
51-75%		0.80
76-100%		0.85

**CITY OF ST. HELENA, STATE OF CALIFORNIA  
LOT LINE ADJUSTMENT and DESIGN REVIEW  
NO. 2013-35 GRANTED TO  
1720 VINEYARD AVENUE**

**PROPERTY OWNER:** Anthony Filipps

**APN:** 009-172-022

**RECITALS**

1. The applicant submitted applications for Lot Line Adjustment between the subject parcel (APN: 009-172-022) and the parcel to the immediate south (APN: 009-172-023). This adjustment would add 500 sf to the existing 3,250 sf parcel. The applicant is also seeking Design Review approval to construct a 1-story, 2-bedroom, 1,456 sf, residence on the vacant parcel located at 1720 Vineyard Avenue in the MR: Medium Density Residential district.
2. The Planning Commission of the City of St. Helena, State of California, held noticed public hearings for this item on August 20, 2013, September 3, 2013 and on December 17, 2013.

**RESOLUTION**

The Planning Commission of the City of St. Helena, State of California, approved the Use Permit and Design Review application on the following basis:

- A. The Planning Commission hereby finds that this project is exempt from the requirements of CEQA pursuant to Section 15305 Class 5(a) of the CEQA Guidelines, which exempts minor lot line adjustments that do not involve the creation of any new parcel and do not exceed an average slope of 20% and pursuant to Section 15303, Class 3 which exempts the construction of new private structures.
- B. The parcels resulting from the Lot Line Adjustment, as described above, will not create inconsistencies with the General Plan and City's Zoning Ordinance. This approval shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to the Lot Line Adjustment and shall not be construed to permit violation of other laws and policies not so listed.
- C. The Planning Commission determines the project is in compliance with the following Design Review criteria of Municipal Code Section 17.164.030.
  1. *To promote those qualities in the environment which bring value to the community.*
  2. *To foster the attractiveness & functional utility of the community as a place to live and work.*
  3. *To preserve the character & quality of our heritage by maintaining the integrity of those areas which have a discernible character or are of special historic significance.*
  4. *To protect certain public investments in the area.*
  5. *To encourage where appropriate, a mix of uses within permissible use zones.*
  6. *To raise the level of community expectations for the quality of its environment.*

The following design criteria were considered by the Planning Commission in review of this application:

1. *Consistency and compatibility with applicable elements of the general plan;*
  2. *Compatibility of design with the immediate environment of the site;*
  3. *Relationship of the design to the site;*
  4. *Determination that the design is compatible in areas considered by the board as having a unified design or historical character;*
  5. *Whether the design promotes harmonious transition in scale and character in areas between different designated land use;*
  6. *Compatibility with future construction both on and off the site;*
  7. *Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;*
  8. *Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;*
  9. *Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;*
  10. *Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;*
  11. *Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;*
  12. *Whether natural features are appropriately preserved and integrated with the project;*
  13. *Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;*
  14. *In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;*
  15. *Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;*
  16. *Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;*
  17. *Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.*
- D. The Planning Commission approves the Lot Line Adjustment and Design Review for the above-described project with the following conditions of approval. The project shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.
1. The permits shall be vested within one (1) year from the date of final action. A building permit for the use allowed under this approval shall have been obtained within one (1) year from the effective date of this action or the approval shall expire, provided however that the approval may

be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.

2. These approvals are valid for this use only. New permits must be applied for upon any change in use. These permits will expire if the use is discontinued pursuant to St. Helena Municipal Code Section 17.08.120, Term of Permits and Approvals.
3. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
4. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
5. The applicant shall defend and indemnify and hold the City, its agents, officers, and employees harmless of any claim, action or proceedings to attack, set aside, void or annul an approval so long as the City promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
6. Provided they are in general compliance with this approval, minor modifications may be approved by the Planning Director.
7. Pursuant to St. Helena Municipal Code Section 17.08.110, this permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
8. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official/Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and any applicable accessibility standards of Title 24.
9. Construction shall be in compliance with plans submitted and reviewed by the Planning Commission on December 17, 2013, except as modified herein. The Planning Director may also authorize minor modifications to the plans.
10. Exterior lighting shall be directed or shielded to prevent glare onto the public roadway or adjacent properties.
11. Property owners within the district shall recognize that there exists a right to farm properties within the district and in the vicinity of the district. There is a good faith expectation that no complaints will occur regarding legal, normal agricultural activities on properties in the district or in the vicinity of the district. Such activities may include day or night disbursement of chemicals, and creation of dust, noise, or fumes.
12. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits

shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

### **PUBLIC WORKS CONDITIONS**

1. Approval of this project shall be subject to the requirements of, and all improvements shall be designed and constructed in accordance with, the most current version at the time of improvement plan submittal, Caltrans Standards and Specifications, the City of St. Helena Municipal Code, the St. Helena Water and Sewer Standards, the St. Helena Street, Storm Drain and Sidewalk Standards, and all current federal, state and county codes governing such improvements.
2. For any improvements outside the existing building envelope, a grading and drainage plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit. If the project entails more than 50 cubic yards of soil disturbance, 10,000 square feet of disturbance area, a cut or fill of 3 feet or more, installation of a pool or alteration of any drainage pattern, a grading permit shall be required.
3. No added drainage from new hardscape, roof or pool improvements shall be allowed to leave the site; improvement plans shall show how increased drainage from the 2-year and 10-year events will be designed to evapotranspire/infiltrate/harvest and biotreat stormwater onsite and at the property lines. Pre-developed 2-year events shall be treated prior to release and those flows, along with 100-year event overflows shall be directed to an existing storm drain or gutter through City standard undersidewalk drains or piped directly to the storm drain, where applicable.
4. Where a City water service exists, the applicant shall install an approved backflow device behind the existing water meter prior to Certificate of Occupancy. Any new and modified existing water laterals, meters and backflow prevention devices shall be required and constructed in accordance with the current requirements of the City of St. Helena's Water Standards and the California Department of Health Standards. Existing meter boxes located within a driveway shall be retrofitted with a traffic-rated box or a new lateral shall be installed out of the driveway. New laterals shall be located perpendicular to the water main and outside any driveway/drive aisle.
5. Where fire sprinklers are required, applicant shall install an appropriately-sized water service with appropriate backflow and meter devices prior to Certificate of Occupancy. Fire system

calculations shall be submitted with the Grading and Drainage Plan to verify fire service lateral and meter sizing.

6. The applicant shall incorporate water conservation practices into the proposed project per the revised Water Neutrality Analysis prepared by Stitt Engineering, including installing 1.28 gal toilets, 1.5 gpm faucets, low flow showers, 6.3 gal per cycle dishwasher and 20 gallon per load clothes washer. Landscape irrigation shall be confined to 600 sf. Offsite retrofits shall be performed, as applicable and stated in the Water Neutrality Analysis, prior to certificate of occupancy. The water analysis shall be replicated on the building plans prior to building permit approval.
7. The applicant shall conform to the City of St. Helena Water and Sewer Standards Section 6-2.10 which includes assessing the adequacy of the lateral, replacing if necessary and installing any required cleanouts.
8. The applicant shall repair all public improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to Certificate of Occupancy.
9. All frontages shall be required to install curb, gutter and sidewalk where there is none. Any missing or broken curb, gutter and/or sidewalk along the project frontage shall be installed and/or replaced per City specifications prior to Certificate of Occupancy, extent to be determined by the Public Works Department.
10. Existing streets being cut by new utility services will require edge grinding and an A.C. overlay per City standards, extent to be determined by the Public Works Department.
11. All driveway approaches shall be per current City and ADA standards. Where none exists, or where deteriorating or non-standard driveway approaches exist, they shall be installed or replaced at the direction of the Public Works Department prior to Certificate of Occupancy. The driveway approach for the access drive to the property shall be replaced in order to conform to current ADA standards.
12. Any existing driveway approach not directly connected to a driveway shall be replaced with sidewalk/curb/gutter, as applicable and as directed by the Public Works Department, prior to Certificate of Occupancy.
13. An encroachment permit shall be required for any work performed in the public right of way.

**I HEREBY CERTIFY** that the foregoing Lot Line Adjustment and Design Review were duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on December 17, 2013 by the following roll call vote:

**AYES:**

**NOES:**

**ABSENT:**  
**ABSTAIN:**

---

Greg Desmond, Interim Planning Director

---

Anthony Philipps, Owner