

**CITY OF ST. HELENA
PLANNING DEPARTMENT 1480 MAIN STREET- ST. HELENA, CA 94574
PLANNING COMMISSION**

OCTOBER 4, 2016

AGENDA ITEM: 5

FILE NUMBER: PL15-067

SUBJECT: Request by Daniel Schoenfeld on behalf of Grand View Estates, LLC for Demolition Permit and Design Review approval to demolish an existing single-family residence and associated accessory structures in order to construct a new single-family home on the property located at 1695 Chardonnay Way in the LR: Low Density Residential district.

PREPARED BY: Aaron Hecock, Senior Planner

REVIEWED BY: Noah Housh, Planning Director

APPLICATION FILED: 11/23/15

ACCEPTED AS COMPLETE: 06/17/16

LOCATION OF PROPERTY: 1695 Chardonnay Way

APN: 009-541-001

GENERAL PLAN/ZONING: LR: Low Density Residential

APPLICANT: Daniel Schoenfeld

PHONE: (510) 654-6286

BACKGROUND

This item was originally scheduled for the May 3, 2016 meeting of the Planning Commission, however, the applicant decided to continue the item to a date uncertain to provide them time to redesign the project in order to address concerns from neighbors that the project violated the subdivision's conditions, covenants and restrictions (CC&Rs) prohibiting homes larger than one-story or split level (CC&Rs are attached). The applicant subsequently redesigned the proposed project to eliminate the second story and the project came back to the Planning Commission on August 2, 2016. At this time, concerns persisted about the massing of the proposed home and the inclusion of a secondary dwelling unit. As a result, the Commission continued the item to a date certain (October 4, 2016) in order to allow the applicant time to meet with neighbors to find a design compromise. The applicant has redesigned the home once again, this time eliminating the second unit, removing the loft component of the design, and reducing the overall height of the home by 3 feet. Therefore, the project as proposed no longer has a second-story, a second unit, or a loft. The project as currently proposed is described below.

PROJECT DESCRIPTION

The existing 10,884-sf parcel is currently developed with an approximately 1,879-sf, three bedroom, two bathroom, single-story, single-family residence with a 484-sf attached garage that was constructed in 1980. The existing home is approximately 16' in height. The applicant is seeking demolition permit and design review approval to demolish the existing home in order to construct a new 2,927-sf, single-story, single-family residence with a 277-sf attached garage. While the garage has the footprint of a one-car garage, the applicant is proposing a lift system so that they can garage two if cars if so desired. As stated on the plans, the new home would be finished with stucco over ICF block walls which is much more energy efficient than traditional wood framing. All roofing would be standing seam galvanized metal. Windows and doors would be constructed of recessed wood with metal cladding. The height of the proposed single-story home is approximately 18'6" to the top of the ridge which is approximately 2'6" taller than the existing one-story home.

ANALYSIS

CEQA

The project is exempt from the requirements of CEQA pursuant to Section 15301, which exempts demolition of existing structures and Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.

GENERAL PLAN/ZONING

The property has a General Plan and Zoning designation of Low Density Residential (LR). This district provides for single-family detached homes, secondary residential units, limited agricultural uses, and other similar and compatible uses. The construction of a single-family dwelling is a permitted use in the LR district.

As far as the Floor Area Ratio (F.A.R.) is concerned, a 10,884-sf parcel has a maximum F.A.R. of .302 for a maximum gross floor area of 3,287-sf (excluding any applicable F.A.R. exemptions). The applicant is proposing a 2,927-sf home with a 277-sf attached garage (3,204-sf total). With the 200-sf F.A.R. exemption for covered parking, the project will consist of 3,004-sf, which is 283-sf less than the maximum square footage permitted for an F.A.R. of .276.

PROPOSED FLOOR AREA:

RESIDENCE – Main Floor	2927 SF
GARAGE	277 SF
COVERED PARKING EXEMPTION	-200 SF

TOTAL 3,004 SF

FLOOR AREA RATIO:

3,004-sf / 10,884-sf = **.276**

Staff requested that the applicant provide an exhibit showing the height (one story or two) and the F.A.R. of homes in close proximity (the immediate surrounding

neighborhood) to the project site. As a response, the applicant provided site plans showing the F.A.R. and height of six properties in the vicinity of the project site (although several of them are towards the end of Columbard Court). These site plans show homes with varying F.A.R.s and heights although they generally have F.A.R.s in the .2s and an average height of about 15 feet.

The project as proposed meets all the requirements of the LR zone including lot coverage, building size, height, setbacks, etc.

PARKING

Municipal Code Section 17.124 “Parking and Loading Requirements”, requires that residential uses provide two parking spaces for the main dwelling unit, one of which shall be contained within a garage or carport. In this case, the applicant is providing two covered spaces in the garage and room for several more cars in the driveway area. Therefore, the project as proposed meets all parking requirements.

WATER

The existing residence and accompanying accessory structures would be replaced with new structures which would make them much more efficient than what currently exists. The applicant has provided a water neutrality analysis that demonstrates no net increase in water consumption from the project (included as an attachment).

DEMOLITION PERMIT

As provided in Municipal Code Section 17.164.050(E), no permit authorizing the demolition of any building within any zoning district shall be issued until approved by the Planning Commission in accordance with the following findings:

1. That, based on the public record and testimony presented at a public hearing, the building is determined not to be a significant architectural or historical building.
2. That the demolition does not eliminate elements that are required to maintain the essential character of the neighborhood.

The existing home was constructed in around 1980 and is not listed on the City of St. Helena’s historical resources inventory. While the existing home is in good condition, the building is not architecturally significant. Demolition of this residence and associated accessory structures would not impact a historical resource or otherwise negatively affect the character of the neighborhood.

DESIGN REVIEW

The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. The following design criteria should be considered by the Planning Commission in review of this application (Zoning Ordinance Section 17.164.030):

1. Consistency and compatibility with applicable elements of the general plan;
2. Compatibility of design with the immediate environment of the site;
3. Relationship of the design to the site;
4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;

5. Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;
6. Compatibility with future construction both on and off the site;
7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;
8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;
9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;
10. Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;
11. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;
12. Whether natural features are appropriately preserved and integrated with the project;
13. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;
14. In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;
15. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;
16. Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;
17. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

The neighborhood immediately surrounding the proposed project site consists of homes that are conservative in size and only one-story in height. While only one-story, the proposed home would be somewhat larger in scale than most of the immediately surrounding homes, however, the design style is common within the City. It should also be noted that a cemetery is located on the opposite side of Spring Street; the rear of property abuts a church driveway and parking lot; and, the proposed home would be on a corner lot with only one immediately adjacent residential neighbor.

CORRESPONDENCE

Staff received numerous letters in opposition to this application, however, each of these comments were based on either the original two-story design or the design with the loft and second unit. No comments have been received since the project was redesigned without the second-story, second unit or loft. The prior comments essentially say that the project would be in violation of CC&Rs from the 1970s because they don't allow two-story homes or second units. The CC&Rs for Unit 5 also stipulate that no building

shall be erected other than a “*single-family dwelling not to exceed one story or split level in height*”. As it appears that a Homeowners Association (HOA) no longer exists, it would be left to individual property owners to enforce any remaining CC&Rs through legal action. That being said, the home no longer violates the provisions stipulated in the CC&Rs and no comments have been received since the project was redesigned. It should be noted that CC&Rs are not City regulations and not subject to City enforcement.

STAFF RECOMMENDATION

As discussed above, while the proposed project may be somewhat larger than other homes in the immediately surrounding neighborhood, this property is unique for several reasons: it is right on Spring Street; it is not located in an older historic neighborhood; a cemetery is located on the opposite side of Spring Street; the rear of property abuts a church driveway and parking lot; and, it is on a corner lot requiring two 20’ setbacks with only one immediately adjacent residential neighbor. Furthermore, the applicant has redesigned the project several times in an attempt to satisfy the concerns of neighbors and staff believes that the current design has satisfied those concerns. Therefore, staff recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA, pursuant to Section 15301, which exempts demolition of existing structures and Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.; and
2. Accept the required findings and approve demolition permit and design review to allow for a new single-family home at 1695 Chardonnay Way.

ATTACHMENTS

1. Resolution / Conditions of Approval
2. APN Map
3. Aerial Photo
4. Plans & Renderings
5. Applicant’s Statement
6. Comment Letters
7. Unit 5 CC&Rs
8. Applicant F.A.R. Exhibits
9. Water Neutrality Analysis

**DEMOLITION PERMIT AND DESIGN REVIEW NO. PL15-067
CITY OF ST. HELENA, STATE OF CALIFORNIA
GRANTED TO 1695 CHARDONNAY WAY**

PROPERTY OWNER: Daniel Schoenfeld

APN: 009-541-001

Recitals

1. Request by Daniel Schoenfeld on behalf of Grand View Estates, LLC for Demolition Permit and Design Review approval to demolish an existing single-family residence and associated accessory structures in order to construct a new single-family home with a two-car garage on the property located at 1695 Chardonnay Way in the LR: Low Density Residential district.
2. The Planning Commission of the City of St. Helena, State of California, held a duly noticed public hearing on May 3, 2016 where the item was continued at the applicant's request.
3. The Planning Commission of the City of St. Helena, State of California, held a duly noticed public hearing on August 2, 2016 where the item was continued to a date certain by the Planning Commission.
4. The Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on October 4, 2016.
5. The Planning Commission approves the Demolition Permit and Design Review and authorizes the modifications contained in said plans based on the findings below and subject to the conditions of approval enumerated herein.

Resolution

- A. The Planning Commission hereby finds that the project is exempt from CEQA pursuant to Section 15301, which exempts demolition of existing structures and Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.
- B. For the Demolition Permit, the Planning Commission finds that the project is in compliance with Municipal Code Section 17.164.050(E) in:
 1. *That, based on the public record and testimony presented at a public hearing, the building is determined not to be a significant architectural or historical building.*
 2. *That the demolition does not eliminate elements that are required to maintain the essential character of the neighborhood.*
- C. The Planning Commission finds that the project is in compliance with the following Design Review criteria of Municipal Code Section 17.164.030:

1. *Consistency and compatibility with applicable elements of the general plan;*
2. *Compatibility of design with the immediate environment of the site;*
3. *Relationship of the design to the site;*
4. *Determination that the design is compatible in areas considered by the board as having a unified design or historical character;*
5. *Whether the design promotes harmonious transition in scale and character in areas between different designated land use;*
6. *Compatibility with future construction both on and off the site;*
7. *Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;*
8. *Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;*
9. *Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;*
10. *Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;*
11. *Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;*
12. *Whether natural features are appropriately preserved and integrated with the project;*
13. *Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;*
14. *In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;*
15. *Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;*
16. *Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;*
17. *Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.*

Planning Department Conditions of Approval

1. The project shall be in conformance with all city ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.
2. The demolition permit and design review shall be vested within one (1) year from the date of final action. A building permit for the use allowed under this approval shall have been obtained within one (1) year from the effective date of this action or the

approval shall expire, provided however that the approval may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.

3. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
4. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
5. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
6. Provided they are in general compliance with this approval, minor modifications may be approved by the Planning Director.
7. Pursuant to St. Helena Municipal Code Section 17.08.110, this permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
8. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and or Public Works Department to review compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.
9. Construction shall be in compliance with plans submitted and reviewed by the Planning Commission on October 4, 2016, except as modified herein.
10. Exterior lighting shall be directed or shielded to prevent glare onto the public roadway or adjacent properties.
11. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following

reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

Public Works Department Conditions of Approval

12. Approval of this project shall be subject to the requirements of, and all improvements shall be designed and constructed in accordance with, the most current version at the time of improvement plan submittal, Caltrans Standards and Specifications, the City of St. Helena Municipal Code, the St. Helena Water and Sewer Standards, the St. Helena Street, Storm Drain and Sidewalk Standards, and all current federal, state and county codes governing such improvements.
13. For any improvements outside the existing building envelope, a grading and drainage plan showing topographic data, all easements, infrastructure onsite and directly adjoining, and an erosion control plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit. If the project entails more than 50 cubic yards of soil disturbance, 10,000 square feet of disturbance area, a cut or fill of 3 feet or more, or alteration of any drainage pattern, a grading permit shall be required.
14. Drainage needs to be routed to prevent inundation of neighboring properties. Grading and/or site improvement plans shall show how 2-year and 10-year storm flows shall be infiltrated on site and/or diverted at the property lines to prevent inundation of neighboring properties.
15. Erosion and sediment control plans shall conform to the latest State and City codes at a minimum.
16. Implement a Stormwater Control Plan as indicated in the Preliminary Grading and Drainage Plan and as required by the Bay Area Stormwater Management Agencies Association (BASMAA) Post-Construction Manual, dated July 14, 2014.
17. The applicant shall install an approved backflow device behind the existing water meter prior to Certificate of Occupancy. Any new and modified existing water laterals, meters and backflow prevention devices shall be required and constructed in accordance with the current requirements of the City of St. Helena's Water Standards and the California Department of Health Standards. Existing meter boxes located within a driveway shall be retrofitted with a traffic-rated box. New laterals shall be located perpendicular to the water main and outside any driveway/drive aisle.

18. Remodels or new construction which require fire sprinklers shall install an appropriately-sized water service with appropriate backflow and meter devices prior to Certificate of Occupancy. Fire system calculations shall be submitted with the Grading and Drainage Plan to verify fire service lateral and meter sizing. Deferred submittals are not accepted.
19. The applicant shall incorporate water conservation practices into the proposed project per the Water Usage Analysis Report. Any and all non-conforming appliances and plumbing fixtures shall be removed from the premises. The water conservation requirements included in the Water Usage Analysis Report shall be replicated in full on the architectural plans.
20. If the project includes 500 square feet or more of new landscaping and/or 2,500 square feet or more of rehabilitated landscape, the proposed landscaping shall comply with the State's Model Water Efficient Landscape Ordinance (MWELO).
21. The applicant shall conform to the City of St. Helena Water and Sewer Standards Section 6-2.10 which includes assessing the adequacy of the lateral, replacing if necessary and installing any needed cleanouts prior to Certificate of Occupancy.
22. Construct the driveway approach per current City and ADA standards prior to Certificate of Occupancy.
23. The applicant shall repair all public improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to Certificate of Occupancy.
24. Existing streets being cut by new utility services will require edge grinding and an A.C. overlay per City standards, extent to be determined by the Public Works Department.
25. An encroachment permit shall be required for any work performed in the public right of way.

Building Department Conditions of Approval

26. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2013 Title 24 codes.
27. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
28. The applicant shall provide a construction waste management plan with the building permit application.

29. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
30. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
31. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.

I HEREBY CERTIFY that the foregoing design review was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on October 4, 2016 by the following roll call vote:

AYES:

NOES:

ABSENT:

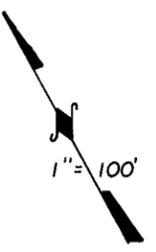
ABSTAIN:

APPROVED:

ATTEST:

Grace Kistner
Chair, Planning Commission

Noah Housh
Planning Director



1	R=20'	31.42
2	R=20'	25.53
3	R=20'	31.50
4	R=20'	31.88
5	R=20'	30.96
6	N 51-20 W	9.50
7	R=700'	9.50
8	N 62-14-32 E	18.54
9	R=528'	23.19
10	N 28-41-11 E	5.64
11	R=428'	9.56
12	R=20'	39.49
13	R=20'	40.27
14	N 49-12-16 W	7.33
15	R=20'	16.30
16	R=50'	18.24
17	R=50'	13.98
18	N 61-19-39 W	48.60

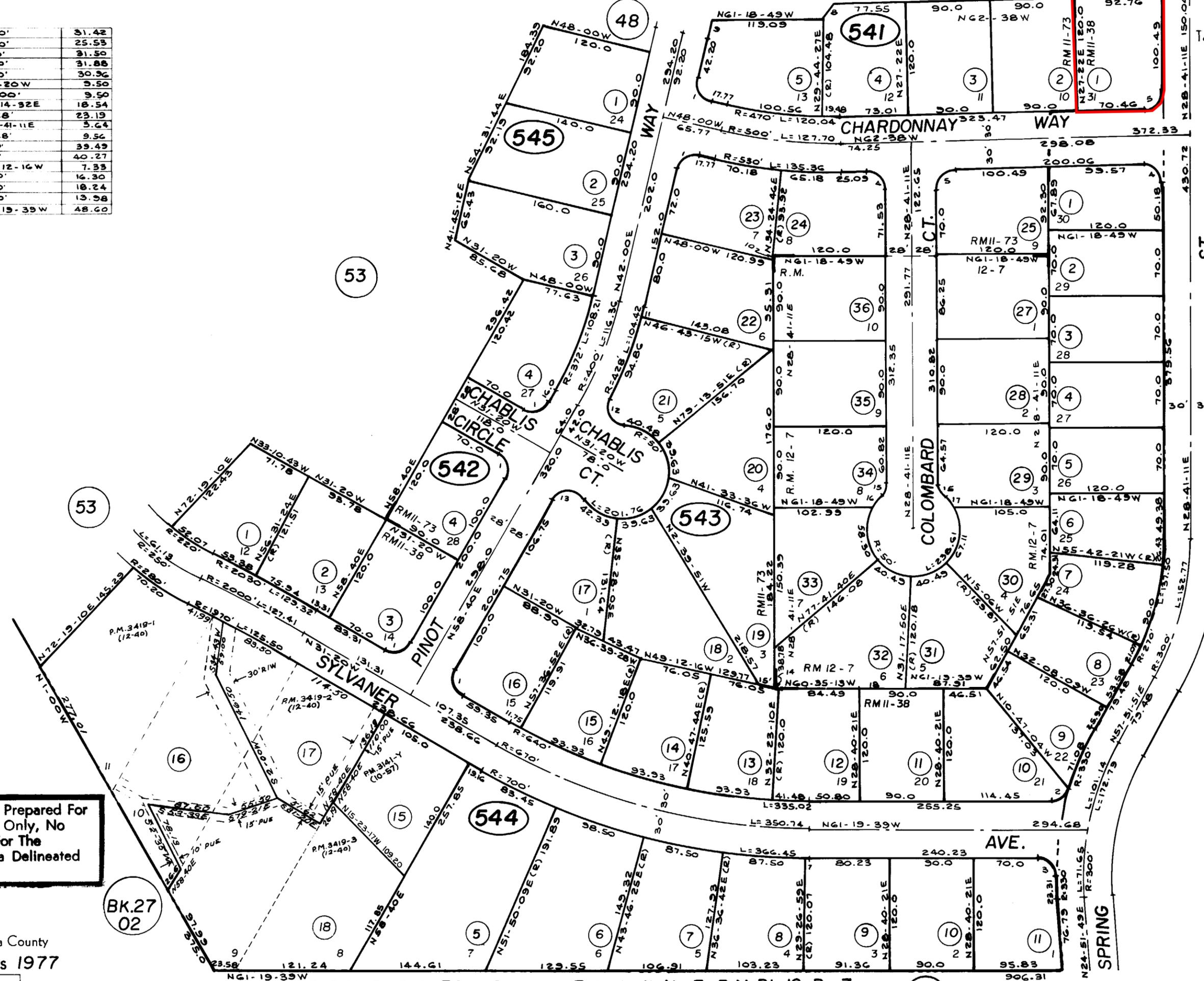
NOTE: This Map Was Prepared For Assessment Purposes Only, No Liability Is Assumed For The Accuracy Of The Data Delineated Hereon.

Assessor of Napa County
REVISIONS 1977

5-8-77
7-7-77

Sylvaner Ests. Unit No.5 R.M. Bk.II, Pg.38
Sylvaner Ests. Unit No.6 R.M. Bk.II, Pg.73

Sylvaner Ests. Unit No.7 R.M. Bk.I2, Pg.7



ST.

ST.

AVE.

SPRING

39



1695 Chardonnay Way

© 2016 Google

Google earth

1993

38°29'36.05" N 122°28'37.13" W elev 278 ft eye alt 2179 ft



Photo 1. View of existing home from Chardonnay Way.



Photo 2. View of Chardonnay Way from Spring Street.



Photo 3. View of property from Spring Street.



Photo 4. View of rear of property from Calvary driveway.



Photo 5. View of side/rear of property from Spring Street.

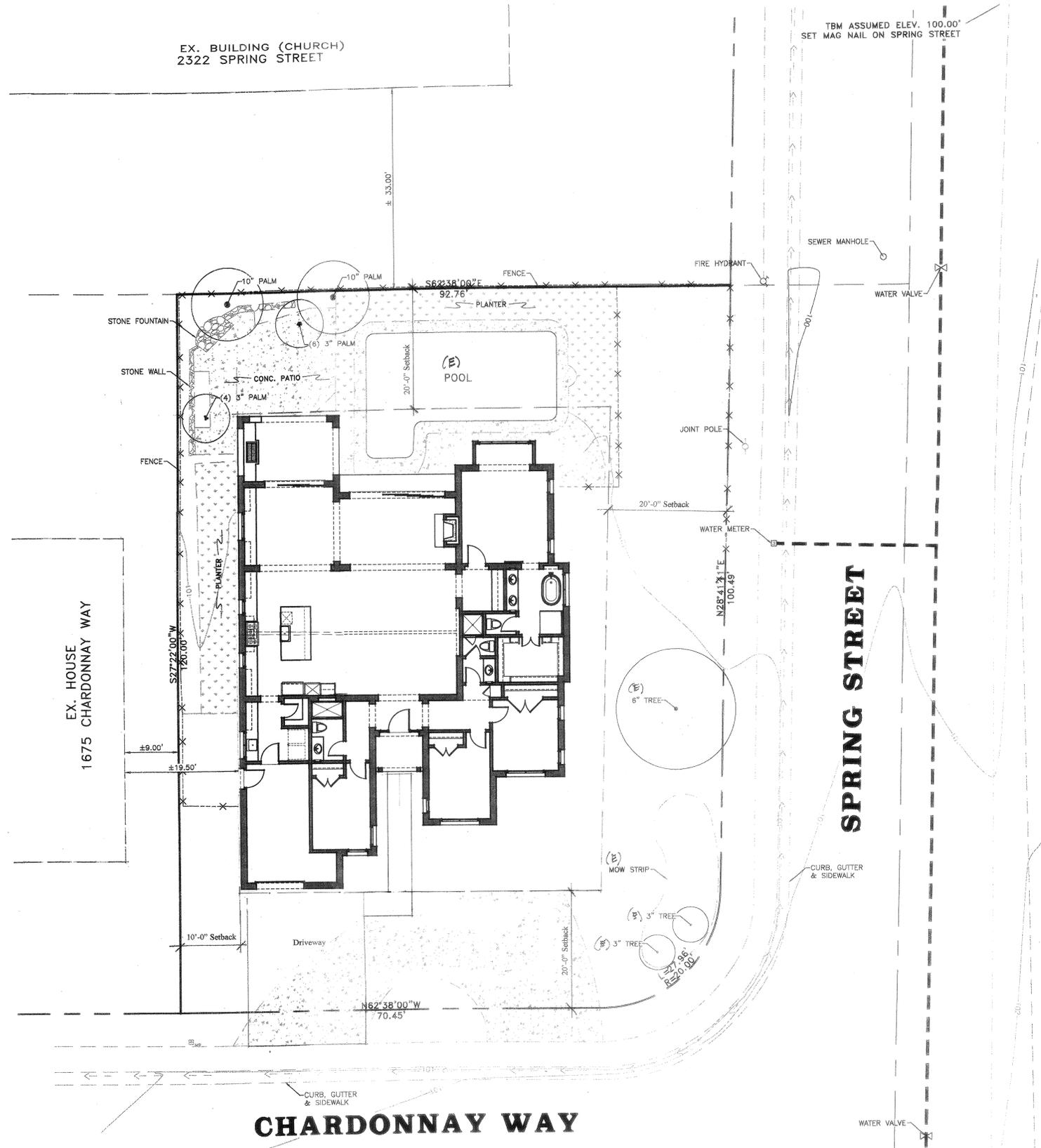


Photo 6. Alternate view of property from Chardonnay Way.

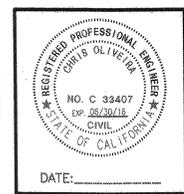
TOPOGRAPHIC SURVEY FOR: 1695 CHARDONNAY WAY CITY OF SAINT HELENA STATE OF CALIFORNIA APN: 009-541-001

ABBREVIATION

- AC..... ASPHALT
- CONC..... CONCRETE
- EL..... ELEVATION
- FF..... FINISH FLOOR
- FG..... FINISH GRADE
- FH..... FIRE HYDRANT
- TC..... TOP OF CURB
- TBW..... TOP BACK OF WALK
- TW..... TOP OF WALK
- RWT..... RETAINING WALL - TOP
- RWB..... RETAINING WALL - BOTTOM
- SD..... STORM DRAIN
- SDDI..... STORM DRAIN DROP INLET
- SDMH..... STORM DRAIN MANHOLE
- SS..... SANITARY SEWER
- SSCO..... SANITARY SEWER CLEANOUT
- SSMH..... SANITARY SEWER MANHOLE
- TBC..... TOP BACK OF CURB
- TBW..... TOP BACK OF WALK



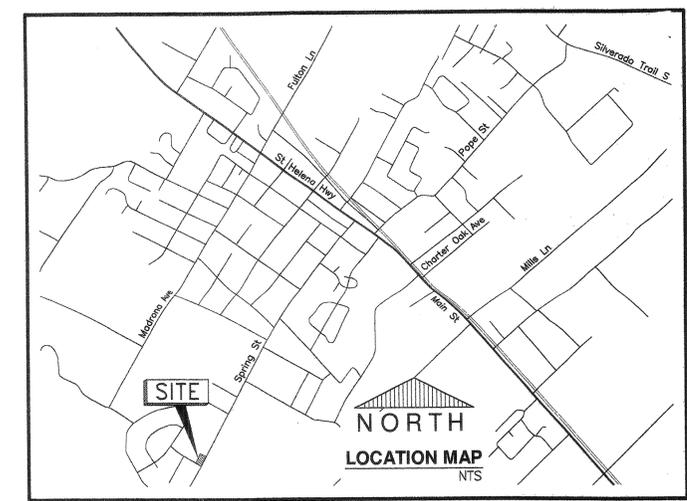
TEMPORARY BENCHMARK ELEV.: 100.00'
ASSUMED ELEVATION OF 100.00'. SET MAG NAIL ON SPRING STREET.



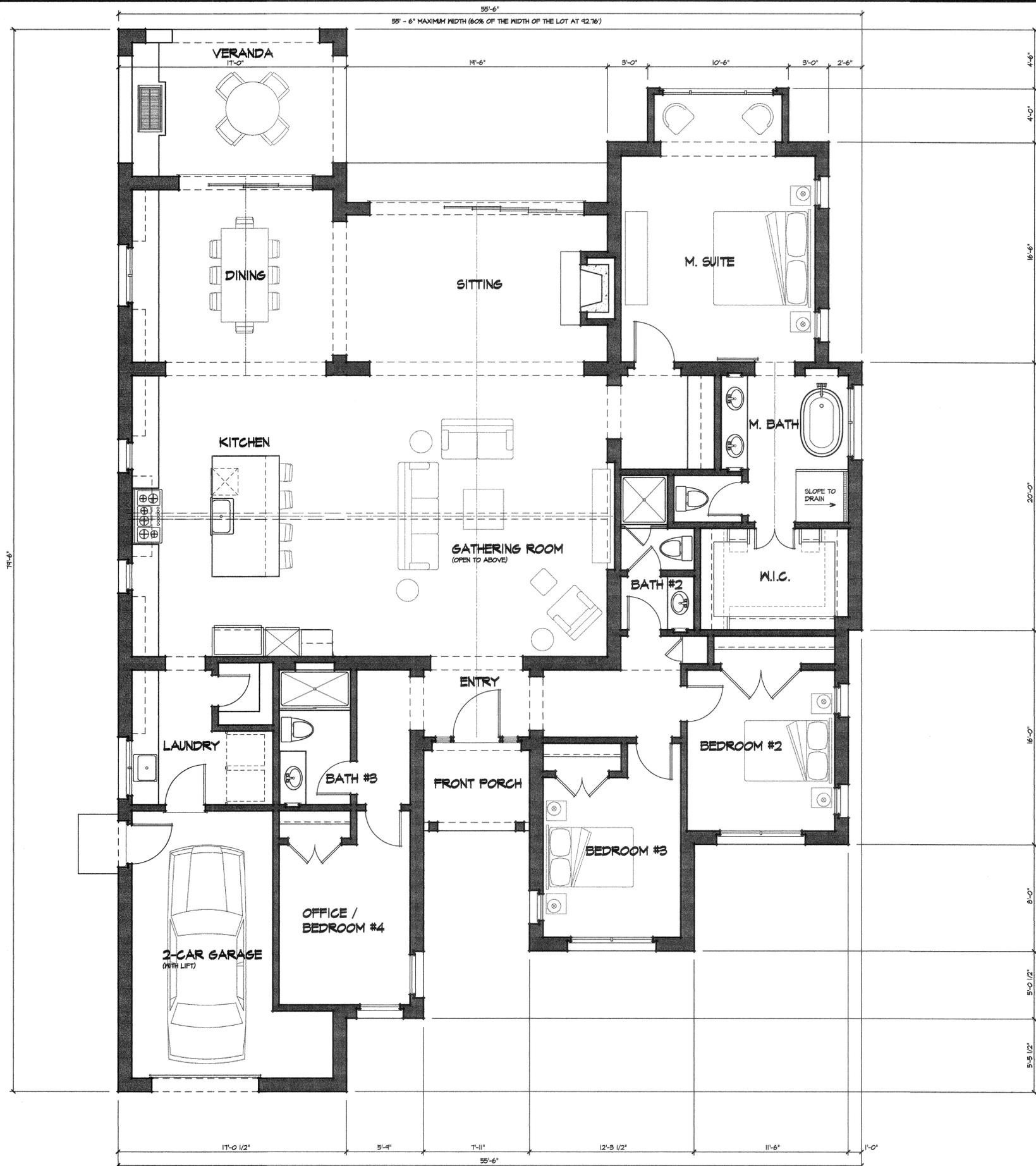
PROJECT SITE
SCALE: 1" = 10'

LEGEND

	EXISTING	PROPOSED
DROP INLET		
MAINTENANCE HOLE		
SANITARY SEWER		
STORM DRAIN		
WATER MAIN		
WATER METER		
FIRE HYDRANT		
WATER VALVE		
RETAINING WALL		
CURB, GUTTER & SDWK		
CENTER LINE		
RIGHT-OF-WAY		
FENCE		
DITCH FLOW DIRECTION		
FLOW DIRECTION		
TREE		
BUSH		
STREET LIGHT		
POWER POLE		
PULL BOX		
ELEVATION		
MAIL BOX		
UTILITY BOX		



NO.	REVISIONS	DESCRIPTION	APPROVED BY	DATE
<p>CNA ENGINEERING INC. CIVIL ENGINEERING: LAND SURVEYING PLANNING: STRUCTURAL DESIGN</p> <p style="font-size: small;">PHONE: (916) 485-3746 2575 VALLEY ROAD #21 SACRAMENTO, CA 95821 ycncengr@spgohub.com</p>				
SCALE	PREPARED BY	DRAFTED BY	DESIGNED BY	CHECKED BY
HORIZ.: 1" = 10'	VAL T.	STEVE N.	STEVE N.	CHRIS O.
VERT.: N/A	N/A	N/A	N/A	N/A
FLD BK.: N/A	N/A	N/A	N/A	N/A
ASSESSOR'S PARCEL NO.:	009-541-001			
<p>TOPOGRAPHIC SURVEY FOR: 1695 CHARDONNAY WAY CITY OF SAINT HELENA STATE OF CALIFORNIA</p>				
<p>DATE: 11/16/2015 FN.: 15127.DWG SHEET 2 OF 2 SHEETS</p>				



FLOOR PLAN

PROPOSED GROSS FLOOR AREA:

FIRST FLOOR:	2421 SF
TOTAL CONDITIONED:	2421 SF
2-CAR GARAGE (WITH LIFT):	271 SF
TOTAL:	3,204 SF

COVERED AREAS:

FRONT PORCH:	48 SF
VERANDA:	167 SF

TABLATIONS:

NET LOT AREA:	10,284.25 SF
COVERAGE ALLOWED (35%):	3,604 SF
PROPOSED COVERAGE:	3,604 SF
GROSS FLOOR AREA RATIO (F.A.R.):	3,281 SF (302)
3,204 SF - 200 SF EXEMPTION =	3,004 SF

REVISIONS	BY
△ PLANNING CHS 05 11-17-15	AB
△ PLANNING CHS 05 01-14-16	AB
△ PLANNING CHS 05 08-02-16	AB
△ PLANNING CHS 05 08-02-16	AB
△ NEIGHBOR CHS 04-04-16	AB

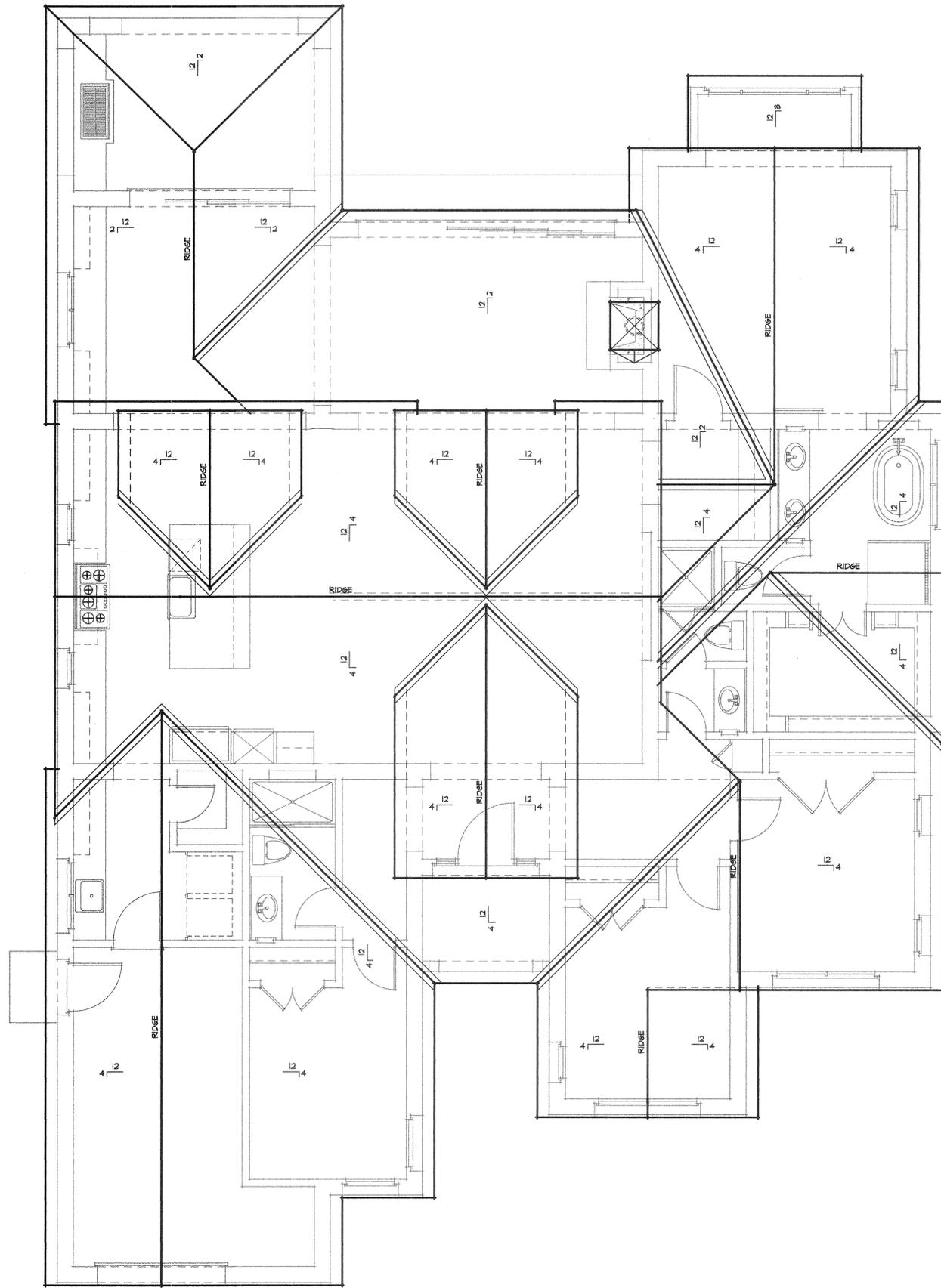
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Kevin Patrick O'Brien Architect, Inc.
 Residential Design and Neighborhood Planning
 201 Pacific St., Suite 200, Roseville, California 95678
 540 East Santa Clara St., Suite 212, Ventura, California 93001
 (916) 204-2014
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 WWW.KPOARCHINC.COM

RESIDENCE
 1695 CHARDONNAY WAY
 SAINT HELENA, CALIFORNIA

FLOOR PLAN

Date 10/28/15
 Scale 1/4"=1'-0"
 Drawn AB
 Job
 Sheet
A.1
 Of Sheets



ARCHITECTURAL ROOF PLAN

REVISIONS	BY
△ PLANNING CHS 05 11-17-15	AB
△ PLANNING CHS 01-14-16	AB
△ PLANNING CHS 05-02-16	AB
△ PLANNING CHS 08-02-16	AB
△ NEIGHOR CHS 07-04-16	AB

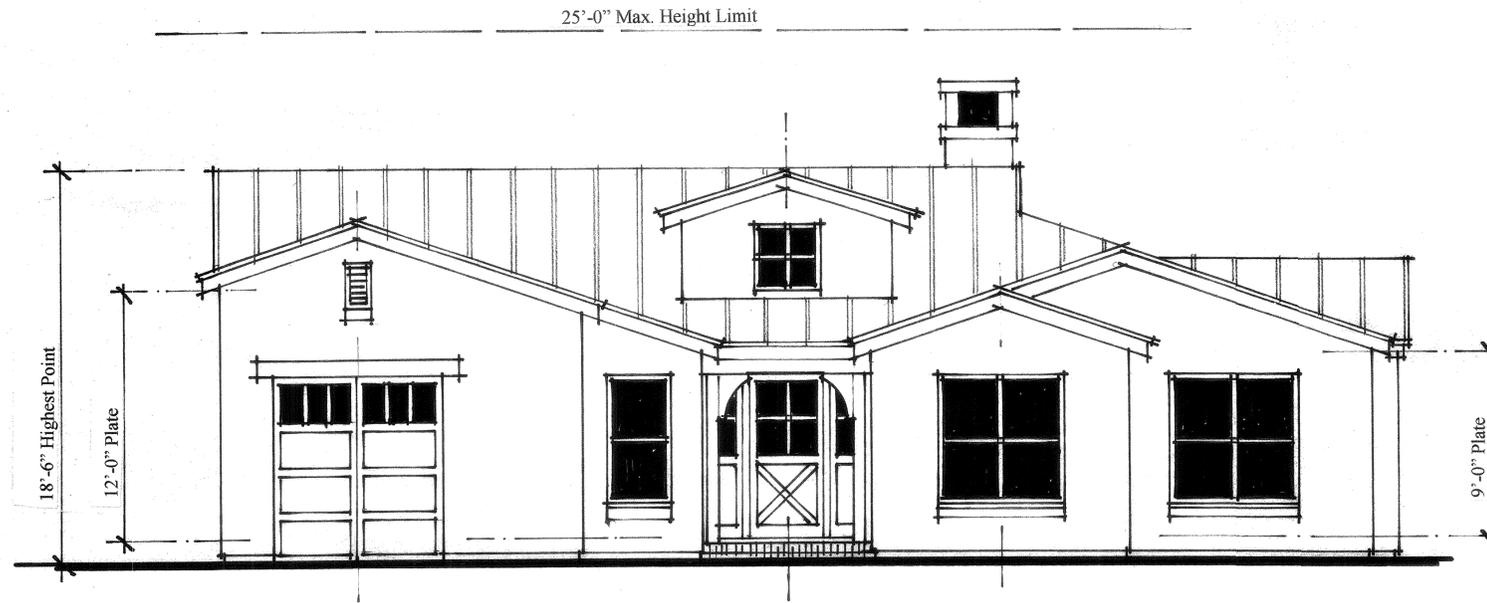
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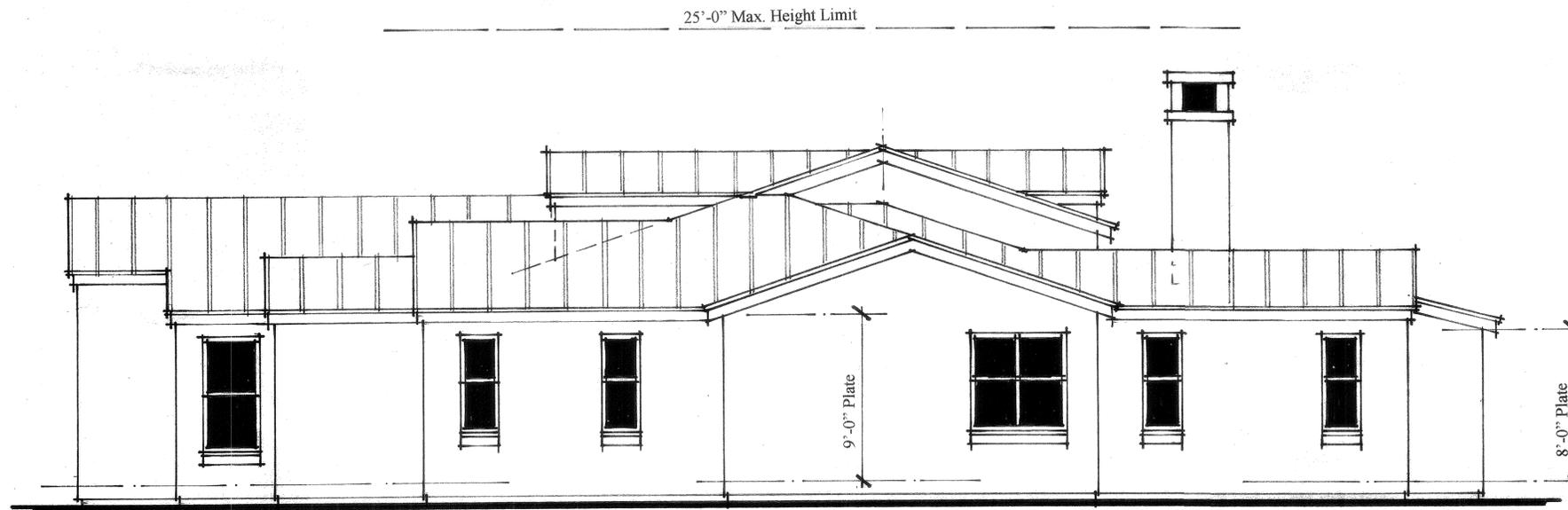
RESIDENCE
 1695 CHARDONNAY WAY
 SAINT HELENA, CALIFORNIA

ARCHITECTURAL ROOF PLAN

Date	10/28/15
Scale	1/4"=1'-0"
Drawn	AB
Job	
Sheet	A.2
Of	Sheets



Front Elevation



Right Side Elevation

EXTERIOR MATERIALS

- ROOFING :** Standing Seam GSM Roofing
- ROOF EAVES :** 4 X 8 Exposed Rafter Tails
- WALLS :** Smooth Trowel Exterior Stucco over ICF Block Walls
- GARAGE DOORS :** Recessed Wood Roll-Up Doors
- DOORS / WINDOWS :** Recessed Wood Window/Doors with Metal Cladding

REVISIONS	BY
1	AB
2	AB
3	AB
4	AB
5	AB

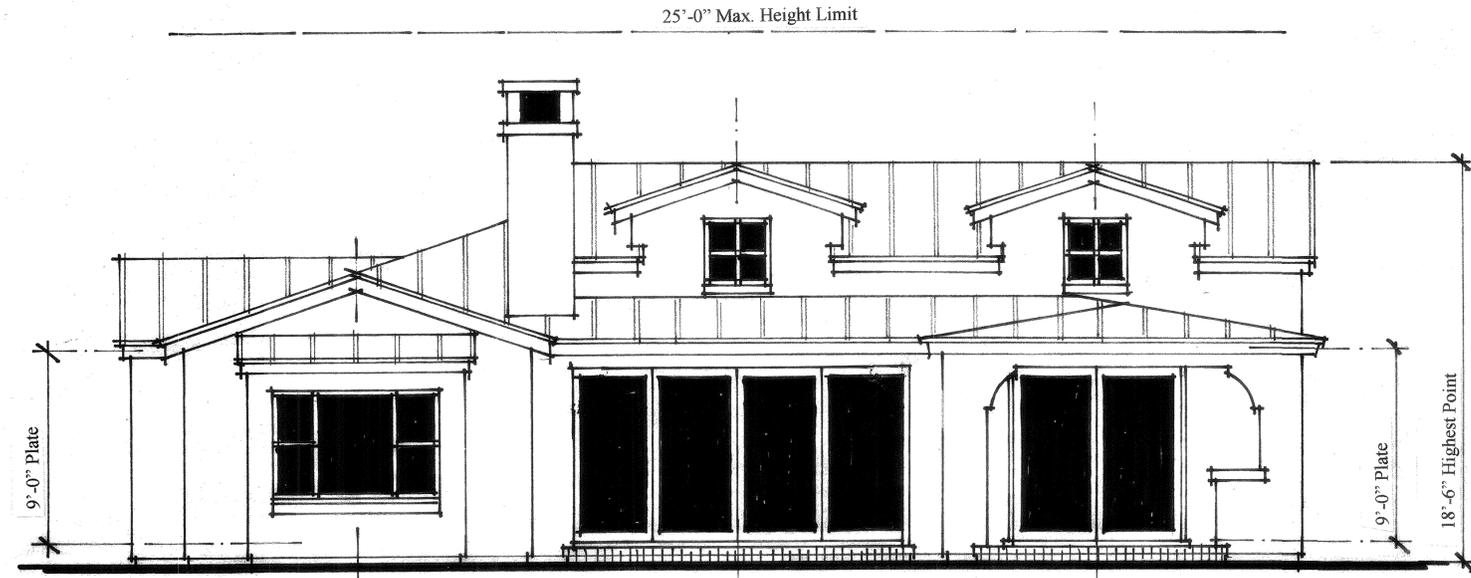
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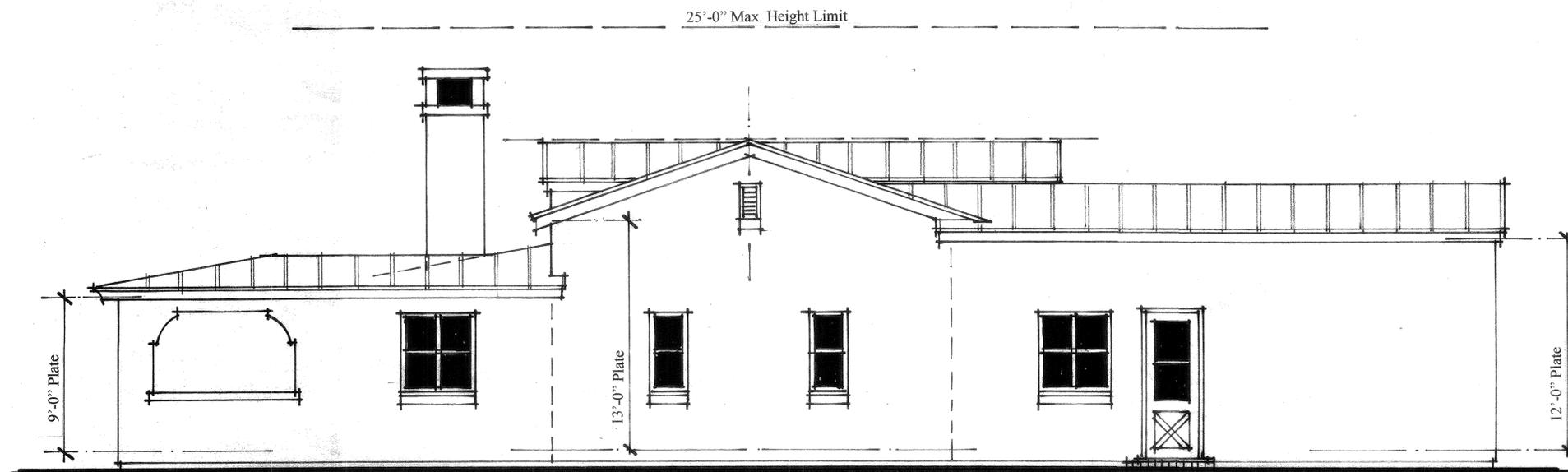
RESIDENCE
 1695 CHARDONNAY WAY
 SAINT HELENA, CALIFORNIA

EXTERIOR ELEVATIONS

Date	10/28/15
Scale	1/4"=1'-0"
Drawn	KPB
By	
Sheet	A.3
Of	Sheets



Rear Elevation



Left Side Elevation

EXTERIOR MATERIALS

- ROOFING :** Standing Seam GSM Roofing
- ROOF EAVES :** 4 X 8 Exposed Rafter Tails
- WALLS :** Smooth Trowel Exterior Stucco over ICF Block Walls
- GARAGE DOORS :** Recessed Wood Roll-Up Doors
- DOORS / WINDOWS :** Recessed Wood Window/Doors with Metal Cladding

REVISIONS	BY
△ PLANNING CHS 11-11-15	AB
△ PLANNING CHS 01-14-16	AB
△ PLANNING CHS 08-02-16	AB
△ PLANNING CHS 08-02-16	AB
△ NEIGHOR CHS 04-04-16	AB

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RESIDENCE
 1645 CHARDONNAY WAY
 SAINT HELENA, CALIFORNIA

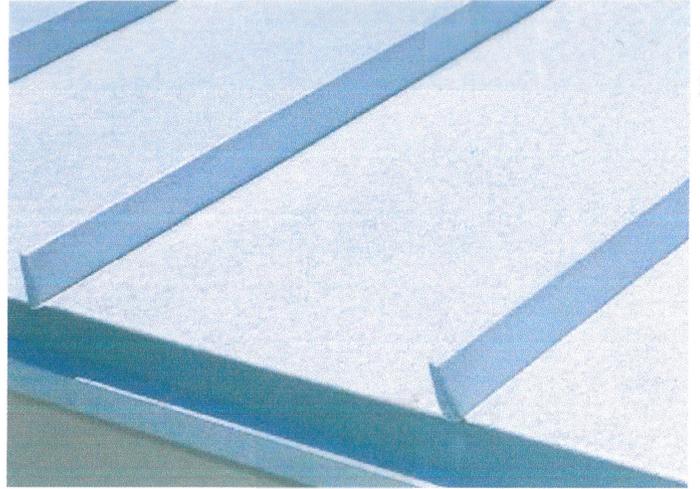
EXTERIOR ELEVATIONS

Date	10/28/15
Scale	1/4"=1'-0"
Drawn	KAB
Job	
Sheet	A.4
Of	Sheets

Color & Materials Board for New Residence
1695 Chardonnay Way
Saint Helena, California
APN: 009-541-001

ROOFING: _____

Standing Seam Metal Roof
Color: Pewter Grey



STUCCO:

Smooth Trowel Stucco
Color: KM4591-1, White Linen

POSTS / BEAMS / RAFTER TAILS:

STK Cedar
Color: KMW46-1, Picket Fence

TRIM / FASCIA:

STK Cedar
Color: KMW46-1, Picket Fence



GUTTERS / DOWNSPOUTS: _____

5" Dia. Half Round Gutters, 2" Dia. Downspouts
Color: Galvanized Iron

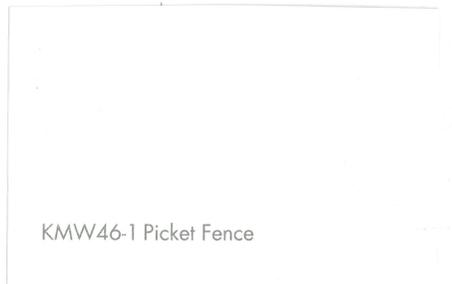


WINDOWS / DOORS:

Metal Clad Wood Windows
Color: To Match Trim (Picket Fence)

GARAGE DOORS:

Recessed Wood Roll-up Doors
Color: KMW46-1, Picket Fence



September 16, 2016

Aaron Hecock, AICP
Senior Planner
City of St. Helena
1480 Main Street
St. Helena, CA. 94574



Kevin Patrick O'Brien
Architect, Inc.
Residential Design and Neighborhood Planning
www.kpoarchinc.com

Reference: Design Review Application: 1695 Chardonnay Way, Daniel Schoenfeld

Aaron,

This letter is to accompany the revised and updated Design Review Application and Architectural Exhibits dated: Addenda #5 (9/9/16). After meetings with neighbors in the Sylvaner Estates, the Application has been revised to satisfy their concerns. Regarding the "updates" to the Architectural Plans, the revisions are following:

- 1). Lower Height of Proposed Home – The main roof was lowered 3'-0" from the previous submittal, and the highest point (roof ridge) is now 18'-6" off grade. It should be noted, the Maximum Height allowed for the St. Helena Low Density (LR) District is 25'-0". This Proposed Submittal is 6'-6" lower than the Maximum Height.
- 2). Remove Proposed Loft Space – The Loft Space over the Kitchen was removed. Converted the outdoor Loggia off the Gathering Room to "enclosed" Sitting Room. Revised the FAR Tabulations to reflect the Floor Plan revisions.
- 3). Remove Guest Cottage – The Proposed Guest Cottage was removed. Revised the FAR and Coverage Tabulations to reflect the Floor Plan revisions.

End of Application Revisions.

Please contact me if you have any questions regarding the revised Design Review Application.

A handwritten signature in black ink, appearing to be 'K. O'Brien'.

Kevin O'Brien, Architect

Aaron Hecock

From: Daniel Schoenfeld <sez2day@gmail.com>
Sent: Wednesday, September 21, 2016 3:50 PM
To: Aaron Hecock; Kevin O'Brien
Subject: Fwd: Re: 1695 Chardonnay

----- Forwarded message -----

From: "Donna Oldford" <dboldford@aol.com>
Date: Sep 21, 2016 1:03 PM
Subject: Re: 1695 Chardonnay
To: <sez2day@gmail.com>
Cc:

Hi, Dan,

I have spoken with several of the neighbors who were involved with the initial hearing and our subsequent meeting, although not all of them. The thought seems to be that your efforts that involved elimination of the loft space and the second unit have resulted in compliance with the CC&Rs. I have told those I spoke with that this is my opinion. If I hear otherwise, I will let you know. I also spoke with the City planners, as I had a short hearing on the Davies Vineyards Winery last night, and confirmed that my belief is that we have reached an agreement with you.

Please let us know when you have a confirmed hearing. I would be happy to attend and speak favorably about your efforts to work with us on this.

Cheers,
Donna

Donna B. Oldford
Plans4Wine
[\(707\)963-5832](tel:(707)963-5832)
DBOldford@aol.com

-----Original Message-----

From: Daniel Schoenfeld <sez2day@gmail.com>
To: Donna Oldford <dboldford@aol.com>
Sent: Wed, Sep 21, 2016 12:59 pm
Subject: 1695 Chardonnay

Hi Donna,

Just wanted to see if you've gotten any feedback from anyone at this point re: the Archtiecturals I sent. you.

Look forward to hearing from you as time permits.

thanks,

best,

Dan

Aaron Hecock

From: Donna Oldford <dboldford@aol.com>
Sent: Monday, April 25, 2016 2:00 PM
To: sarah@cityofsthelena.org; Grace Kistner; Tracy Sweeney; Mary Koberstein; bobbimonnette@cityofsthelena.org; Aaron Hecock
Subject: Fwd: Spring Street & Chardonnay Way
Attachments: Sylvaner CCRs.pdf

Dear Planning Commission members and staff,

Please see below a letter I drafted for Chairperson Sarah Parker, relative to the matter before you on May 3 whereby a new property owner (Grandview Estates LLC) has requested approval to demolish and existing residence and rebuild to two stories and also build a separate guest unit on the parcel. I am attaching a copy of the Sylvaner CC&Rs for your consideration, as they remain in effect whether recorded with the City or the homeowners association is still in effect. Please consider the points expressed below and specifically note the following issues extrapolated from the attached CC&Rs.

(1) On page 1, Section (A) Land Use and Building Type: Specifically precludes the building of any second story or split-level style appendage.

(2) On page 6, Section (C) Enforcement: Specifically sets forth the right of any individual owner within the Sylvaner subdivision to serve as Attorney General to enforce the CC&Rs (unless otherwise having been formally modified) and their ability to recover legal fees for their action as Attorney General.

This matter has some precedent from some 15 years ago, when the late St. Helena Police Officer David Gardner successfully contested a Columbard Court homeowner's proposal to build a second story on a one-story home.

The Sylvaner neighborhood is one of the few that offer viable family housing for St. Helena residents. We wish to see our CC&Rs adhered to in order to protect the family character of these homes, to protect the privacy that we enjoy in our backyards and gardens, and to avoid setting the kind of overly-intensive lot development that is occurring throughout Old Town St. Helena. This owner is obviously a spec developer whose objective is to maximize the intensity of development on a small, highly visible corner lot that serves as the entry to our Sylvaner area. It will compromise sight distance for motorists turning at a key intersection, block an important view shed to the western hills, and set an unfavorable precedent for a change in character for the far west side of St. Helena.

Thank you for your consideration of this matter for the Sylvaner neighborhood and the City of St. Helena.

Sincerely,
Donna Oldford
2620 Pinot Way
St. Helena, CA 94574

Donna B. Oldford
Plans4Wine
(707)963-5832

DBOldford@aol.com

-----Original Message-----

From: Donna Oldford <dboldford@aol.com>

To: sarahparker.esq <sarahparker.esq@gmail.com>

Sent: Mon, Apr 25, 2016 11:23 am

Subject: Spring Street & Chardonnay Way

Hi, Sarah,

I was recently made aware of a proposal by a spec building to modify a house his company (Grandview Estates LLC) purchased in the Sylvaner subdivision. The proposal is to build a second story on the house and also to build a guest house. Not sure how they fit a guest house on that lot, as it is a very shallow one that backs up to the Church next door.

The historic CC&Rs for Sylvaner have not allowed second stories on the houses, except for those adjacent to the hillside on the west. The purpose of this was to protect the character of the neighborhood, but also to protect the privacy of backyards. The CC&Rs were not recorded with the City and the homeowners association is not in effect at this time. Nevertheless, in instances where CC&Rs were developed, whether recorded or the association remaining intact, they have been in full force. If someone attempts to circumvent the CC&Rs, anyone taking issue with that action will prevail in the courts and it is also one of the few instances where the courts award attorneys fees to the appellant (because they had to act as Attorney General in the matter). This came up over on Columbard Court some 15 years ago, when a homeowner wanted to build a second story on a home there. The late David Gardner took issue, citing the application of the CC&Rs, and the neighbors prevailed.

Although this house is not visible from mine, I am opposed to the present that this action represents. Sylvaner has typically not been a spec home or vacation home, or even a weekenders home venue in the past. These are family homes for St. Helena residents and their design is reflective of that. If anyone can come in and fill a 10,000-sq. ft. lot with two stories of house and also add a second unit, we will be fighting the same battles that currently plague Old Town, where the character of the neighborhood is being lost to speculation and vacation dwellings. Where will St. Helena families live? How can we place a price on the loss of privacy in our backyards and gardens?

At least three houses on that block of Chardonnay Way have changed ownership very recently. If these homes are altered by the new owners, the Sylvaner neighborhood will have as its primary entry a wall of structures which are not in character with the historic St. Helena Cemetery and which block one of the most important view sheds to the northwestern hillside that we have on the west side. You can easily see this by simply driving onto Chardonnay Way from Spring Street. And this is not to mention to blocking of site distance at that intersection.

I will attend the meeting on May 3, but wanted to give you a "heads up" about this matter. I'm sure you'll hear from more people. Due to the large number of recent new owners on Chardonnay Way, I'm not sure whether other new owners would be supportive of this intensification of use in Sylvaner or not. I do know that it would set a most unfortunate precedent in an area of town that has historically been protected by the CC&Rs that were part of its origins. Thank you for your consideration of my feeling on this matter.

Best,
Donna

Donna B. Oldford
Plans4Wine
(707)963-5832
DBOldford@aol.comDBOldford@aol.com



August 1, 2016

St. Helena Planning Commission
City of St. Helena
1480 Main Street
St. Helena, CA 94574

Chairman Kistner and Members of the Commission:

I am writing to you as a 27-year resident of the Sylvaner Subdivision on the west side of St. Helena, and to request that you deny the present application proposed for 1695 Chardonnay Way, based on the inconsistency of the proposal with our neighborhood CC&Rs. The CC&Rs expressly prohibit second stories on these single-family homes and also prohibit second home units on the lots. The reasons for this were to protect the integrity of these homes as single-family residences and to protect backyard privacy for residences. Vacation rentals were not even in anyone's sights at the time.

The developer who purchased this house wishes to redevelop the lot into something that is unprecedented in the Sylvaner Subdivision, with a second story, a second unit, and a hydraulic stacked garage that will accommodate a number of cars. I have seen no development proposal in the City of St. Helena that more resembles a vacation rental home, one clearly designed for several groups of people to occupy at the same time.

Residents of Sylvaner have lived with our CC&Rs for over 30 years. We have managed to be represent a unique situation in the City in terms of protecting the character of our neighborhood. Many of us have lived here for two decades or longer. There was precedent for this action when an owner wished to add a second story. The late Officer David Curtin took issue based on our CC&Rs and the application was denied.

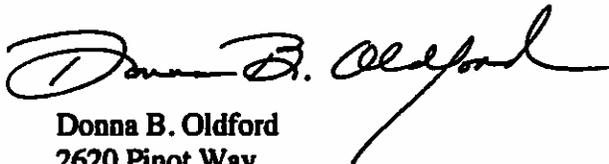
CC&Rs represent a legally enforceable set of rules that are in effect even if the homeowners association is no longer functioning and even if the CC&Rs were not recorded with the City at the time the development was constructed. The Courts have proven this on many occasions, usually awarding the plaintiffs attorneys fees, as well, since they had to act as attorney general for purposes of enforcement.

The developer needs to come back with an application that does not violate our CC&Rs. It would also be helpful if he met with representatives of this neighborhood so that we can acquaint him with what the neighborhood was envisioned as when first developed and what it is all about to this day. The first question I always get from a Planning Commission prior to a hearing is, "*So, how are you with the neighbors?*"

I am not opposed to this property owner remodeling or even replacing the home, even maximizing the intensity of use there, so long as he does so under current City Code and by respecting the CC&Rs for Sylvaner. But this home is situated at one of the two primary entries to Sylvaner and its configuration really will convey a "sense of place" for the neighborhood. It is also located at an intersection where sight distance is critical for those of us who drive in and out of here every day. Spring Street is one of the two primary east/west traffic carriers in the City (Madrona being the other) and in spite of policing, people sometimes drive over the speed limit because of the straightway. A second unit that occupies what would otherwise be a front yard is not compatible with protecting the sight distance at this important location, quite simply because it will block it.

Thank you for your consideration of these points and the opinions that you will hear expressed at the hearing tonight. We are counting on you to help us continue preserving the Sylvaner Subdivision as a place where residents of St. Helena can live and raise families. Our development has several generations of St. Helena families, with new owners investing in the quality of life they knew when they were growing up here. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Donna B. Oldford". The signature is fluid and cursive, with a long, sweeping underline that extends to the right.

Donna B. Oldford
2620 Pinot Way
St. Helena, CA 94574

Aaron Hecock

From: Noah Housh
Sent: Tuesday, August 02, 2016 9:01 AM
To: Aaron Hecock
Cc: Xinia Gamero
Subject: FW: Property Chardonnay and spring

Noah Housh
Planning and Community Improvement Director City of Saint Helena
(707) 968-2659

-----Original Message-----

From: Heather Peña [mailto:heather@hpenamd.com]
Sent: Monday, August 01, 2016 8:14 PM
To: Noah Housh
Subject: Property Chardonnay and spring

Live on Chablis circle and am voicing my concern over development of the property on the corner of spring and Chardonnay. I will not be able to attend the meeting tomorrow night because I am out of town. However, I support my neighbors in maintaining the guidelines in the CC and R's. We are opposed to the current proposal for that property. Thank you, Heather Pena

Sent from my iPhone

From: Dick & Judie Rogers [<mailto:nvredwine@comcast.net>]

Sent: Monday, August 01, 2016 8:08 PM

To: Noah Housh

Cc: Grace Kistner; Bobbi Monnette; Sarah Parker; Tracy Sweeney; Mary Koberstein

Subject: Planning Comm. Agenda Item 5, Aug 2

Earlier today, we sent an email to you and the members of the Planning Commission objecting to the approval of the plan for 1695 Chardonnay. So that there is no question about the applicability of the CC&Rs when discussing the referenced project, we attach a copy of the CC&Rs for Sylvaner Estates, Unit 5. In the report for tomorrow's Planning Commission meeting, Mr. Hecock's statement "...the home no longer violates the provisions stipulated in the CC&Rs..." is incorrect. The plans submitted with the current application clearly show a separate guest house on the front corner of the property and is shown to be equipped with a bathroom and kitchen. The relevant section of the CC&Rs, Section A (which we cited in our earlier email) allows only ONE (our emphasis) single family dwelling on the parcel. We also raised a question about the plan's proposed solution to the "two-story" problem, but do not address that matter here.

While the correspondence section of the report states that only "...one (1) letter in opposition to this application..." had been received, we wish to point out that we previously sent an email on May 9 to the Planning Commission with a copy to Mayor Galbraith that pointed out that the plan violated the CC&Rs with respect to both the guest house and the two-story building. We are aware that the Planning Department received that message as Mayor Galbraith forwarded your reply to us. We're not sure what determines when a letter such as ours is no longer applicable to a project, but our understanding was that the project was withdrawn in order to address the issues raised. Clearly, the issues we raised continue to pertain to the current application.

Dick & Judie Rogers
1570 Chablis Circle
St Helena

Aaron Hecock

From: Noah Housh
Sent: Tuesday, August 02, 2016 9:01 AM
To: Aaron Hecock
Cc: Xinia Gamero
Subject: FW: 8-1-16

FYI

Noah Housh
Planning and Community Improvement Director City of Saint Helena
(707) 968-2659

-----Original Message-----

From: Don [mailto:tangerinehouse@sbcglobal.net]
Sent: Monday, August 01, 2016 8:32 PM
To: Noah Housh
Subject: 8-1-16

8-1-16

Planning Commission:

Proposal for 1695 Chardonnay, St. Helena.

This is to inform you that I am opposed to the proposed house demolition and re-build of a much larger two story house with a rental unit on the city lot. This proposal is not consistent with the neighborhood and is in violation of the CCRs. As a resident on Pinot Way, I strongly urge you prohibit this proposal from ever being implemented.

Sincerely,
Don Richardson

Sent from my iPad

Aaron Hecock

From: Noah Housh
Sent: Tuesday, August 02, 2016 9:01 AM
To: Aaron Hecock
Cc: Xinia Gamero
Subject: FW: Concern about proposed housing project at 1695 Chardonnay (and Spring Street)

FYI

Noah Housh
Planning and Community Improvement Director
City of Saint Helena
(707) 968-2659

From: Susan French [mailto:french-arnold@att.net]
Sent: Monday, August 01, 2016 9:13 PM
To: Noah Housh
Subject: Concern about proposed housing project at 1695 Chardonnay (and Spring Street)

Hi Noah

I am writing to express my concern about a proposed housing project at 1695 Chardonnay. I am a Sylvaner area homeowner and my residence is at 1505 Chablis Circle. My wife and I moved into the house in 1997 and I believe this is the first project in our area that is taking a demolish and rebuild approach.

My concerns are as follows:

- 1) The current house at 1695 Chardonnay looks to be in decent shape if not better. I have watched in the last few years as it was re-modeled so I don't believe this house qualifies as a "tear down" or is un-inhabitable. Sounds like a waste of materials.
- 2) Will the re-built home and guest house be for a homeowner or is it going to be a weekend home or rental money-maker? That later two are not good directions for the future of Saint Helena. We already have far too many weekend only homes, etc.
- 3) The house across the street from mine (1506 Chablis Circle) was re-modeled by a group out of Windsor and successfully sold for a profit a year or two ago. They did not tear down the house. Could the house at 1695 Chardonnay be re-modeled instead?

Should this project go forward as planned, will it open the flood gates for developers to do more in the Sylvaner area? I think we all should think long and hard on this one.

Thanks

Rich Arnold
1505 Chablis Circle
Saint Helena, CA 94574

Susan French
Wine Industry Writing Consultant

french-arnold@att.net
1505 Chablis Circle, St. Helena, CA 94574
Office: 707-967-8606 Cell: 707-291-2559

Aaron Hecock

From: Noah Housh
Sent: Tuesday, August 02, 2016 9:00 AM
To: Aaron Hecock
Cc: Xinia Gamero
Subject: FW: house on Chardonnay and Spring

FYI

Noah Housh
Planning and Community Improvement Director
City of Saint Helena
(707) 968-2659

From: Hoyersmith@aol.com [mailto:Hoyersmith@aol.com]
Sent: Tuesday, August 02, 2016 8:02 AM
To: Bobbi Monnette; Grace Kistner; Sarah Parker; Tracy Sweeney; mkobertaein@cityofstheleena.org; Noah Housh
Subject: house on Chardonnay and Spring

Dear Members of the Planning Commission,

I've lived in St. Helena since 1965, and my four children attended the St. Helena schools. St. Helena is home. I have lived through all the changes and challenges that have faced St. Helena since that time. Suffice to say, I've witnessed the growth of a beautiful little upvalley agricultural town nestled in prune orchards and cattle to an unique destination due to the growth of the wine industry. I do realize there are many challenges the community has to face because of this growth, and lament some of things that have been lost for various reasons, even as we gain recognition and development.

One of the challenges is the sale and purchase of some of our smaller homes, often for speculation, with new owners gutting them and transforming them into a double size homes or more, barely fitting on the lot in some cases. What is probably intended to become a thing of beauty, in some cases, has turned into a "monstrosity" just because of the sheer size in relation to the rest of the neighborhood. I have often wondered what was on the minds of the planning commission members to allow this, and thought it must have something to do with a need for money. Not long ago I was glad to hear of a plan to stop this kind of "renovation" of small homes into outsized houses.

Even so, it came to my attention yesterday that the home on Chardonnay and Spring has been sold and the plan is to demolish it and build a house twice as big on the property. I live on Spring Street just up from the house in question, so now the challenge is in my own neighborhood.

Over the years there have been many homeowners who have purchased homes in the Sylvaner Circle neighborhood then remodeled them to fit their needs, but it is very different when a person demolishes an entire home then rebuilds something twice as large on that property. While the size of the house alone is enough to say no, it's kind of scary to think that the money spent on this kind of project not only values the house way out of line with the rest of the neighborhood, but opens the door for other speculators as well. I'm with my other neighbors who say no to this project, and encourage you to say no as well.

Sincerely,
Marjorie Hoyer Smith
Spring Street resident

From: Dick & Judie Rogers [mailto:nvredwine@comcast.net]

Sent: Monday, August 01, 2016 10:08 AM

To: Grace Kistner; Bobbi Monnette; Sarah Parker; Tracy Sweeney; Mary Koberstein; Noah Housh

Subject: Planning Commission Agenda for August 2, Item 5

We are writing to object to the requested plan for demolition and design review scheduled for the Planning Commission meeting on August 2 (Agenda Item 5).

This property is located in Unit 5 of Sylvaner Estates for which a Declaration of Restrictions was filed and recorded in the records of Napa County on February 3, 1977 (Volume 1024, Page 375). Section A of the restrictions read as follows: "LAND USE AND BUILDING TYPE. No lot shall be used except for residential purposes. No building shall be erected, altered, placed or permitted to remain on any lot other than one detached, single family dwelling not to exceed one story or split level in height and a private garage for not more than two cars."

It is clear from a review of the plans that the applicant has no intention of conforming to these restrictions. As residents of the Sylvaner Estates subdivision, we strongly object to the proposed construction for the following reasons:

- It is clear that the "guest house" is a self-contained, separate residence, on a single lot.
- The design of the primary residence takes a stretch of one's imagination to accept this as a split-level home. It is apparent to us that the ladder to the loft will remain an actual consideration only until the building plans have been approved.

Because of the potential negative impact to our neighborhood – both from increased traffic and the precedent-setting change to the restrictions under which we and others in our neighborhood purchased our homes – we urge you to deny this application.

Dick & Judie Rogers
1570 Chablis Circle

Aaron Hecock

From: Noah Housh
Sent: Monday, August 01, 2016 3:39 PM
To: Aaron Hecock
Subject: FW: 1695 Chardonnay

FYI

Noah Housh
Planning and Community Improvement Director
City of Saint Helena
(707) 968-2659

From: Mary Stephenson [mailto:stepcomm@aol.com]
Sent: Monday, August 01, 2016 3:08 PM
To: Bobbi Monnette; Grace Kistner; Sarah Parker; Tracy Sweeney; mkobertaein@cityofsthelena.org; Noah Housh
Subject: 1695 Chardonnay

I am writing concerning the demolition and new build plan for 1695 Chardonnay, which is on your Agenda tomorrow night. I am concerned about the scale of this project and the precedent it could set for the Sylvaner neighborhood. It would be the first house in our neighborhood to be scrapped for a much larger house that will most likely be targeted to a second home purchaser by the developer. This is happening in other parts of St. Helena and it is changing the character of our town. Here are some of my specific concerns:

- The square footage would increase by more than 50% from 1879 sq. ft to 2840 sq. ft., which is not in scale for the neighborhood
- A guest house complete with kitchen would sit on the front corner of the lot even though the subdivision CC&Rs do not allow guest houses
- The proposed house features a loft accessible by a ladder to get around the 2nd story issue
- Code required three parking places for this plan so they have a one car garage with a "lift" so two cars can be parked one on top of the other in the garage plus a guest parking space right in front on the corner - really??

The developer originally proposed a two-story house plus guest house for this lot but neighbors provided city staff with the CC&Rs which state that two stories and guest units were not allowed and the developer withdrew the plans. This is a second attempt to go around the CC&Rs. I share my neighbors concerned about allowing a speculative developer change the character of the Sylvaner subdivision by building another McMansion.

I urge you to not approve this plan.

Mary Stephenson
707 963 1548o
707 849 2583

From: Tiny & Ron Boak

Sent: August 1, 2016

To: St. Helena Planning Department and Commission

Subject: Proposed new houses at [1695 Chardonnay Way](#) St. Helena

Dear Planning Commission Members and Staff,

My husband and I have lived at [1690 Chardonnay Way](#) for almost forty years. We are both opposed to the proposed demolition and building of two houses directly across the street from us at [1695 Chardonnay Way](#).

The CC+Rs prohibit a guest house being built. The additional main house and garage will be approximately six (6) feet higher and will block any view of the hills across the valley. This project does not appear to be for family housing that fits the design of the Sylvaner neighborhood.

Sincerely,

Tiny and Ron Boak

[1699 Chardonnay Way](#)

[St Helena 94574](#)

[707 963 2467](#)

City of St. Helena
Planning Department
1480 Main St
St. Helena, CA 94574

Dear Planning Commission Members,

I'd like to submit for your consideration my concerns and objections to the proposed requests regarding 1695 Chardonnay Way.

Please do not disregard the CCR's for Sylvaner Estates. Per Part III, paragraph (A) TERM – this appears to be legally binding contract as it has not been terminated or changed by a majority of owners. This is a cohesive neighborhood with a distinct identity and the proposed changes would be inconsistent.

First and foremost, paragraph A of the Declaration of Restrictions for Sylvaner Estates stipulates “one detached, single family dwelling not to exceed one story or split level in height.” The stated purpose of this stipulation is to maintain a harmonious neighborhood. The proposed plans for 1695 Chardonnay do not fit within this parameter.

Also of concern is respect for and maintenance of the 20” front lot line and the 10” side lot line. The ten foot side lot line is critical to the quality of life for the adjacent neighbor. The twenty foot front lot line is important to maintaining a clear line of sight at that corner which is also a prominent entry to the neighborhood.

A second dwelling would likely impact parking at the corner of Chardonnay and Spring. With the bend in the road, a left turn off Chardonnay onto Spring St is challenging. A car parked on Spring near the corner makes it exceptionally hazardous. Bicyclists, walkers, and cars deserve a clear, unobstructed view to insure their safety.

Cramming this corner lot is not conducive to a harmonious, safe, healthy environment. I implore you to reject this request.

Thank you very much.

Sincerely,



Susan Curtin
2623 Colombard Ct
St. Helena, CA 94574

From: Cynthia Kee & Kelly Crane
Subject: 1695 Chardonnay Way
Date: July 31, 2016
To: St Helena Planning Commission

Dear Tiny,

I appreciate your representing Kelly and I by way of this email regarding the proposal in front of the planning commission on the above address this [coming Tuesday August 2nd, 2016](#).

We are opposed to any design that will change the character of our single story, rancher style neighborhood. This particular design appears to be seeking a variance which would allow essentially two stories, reduced set backs, and lot coverage allowances. This design would defiantly enrich upon the immediate neighbors space and present a visual deviation from our neighborhood continuity. This deviation would be viewed by most residents and visitors to our Sylvaner neighborhood, because the lot in question is at one of the main entrances.

We also have concern that the project is being constructed for a permanent rental with multiple units that is not conducive to our single family, owner occupied neighborhood.

Regards,

Cynthia Kee
Jelly Crane
[1655 Chardonnay Way](#)
[St Helena 94574](#)

[707.812.2102](#)

8/2/2016

Re: 1695 Chardonnay Way

Dear Planning Commissioners,

We are homeowners in the Sylvaner neighborhood and reside at 1655 Chardonnay way.

We are out of town and unable to attend tonights meeting but wish to share with you our feelings regarding the construction project for the above address that you will be reviewing this evening.

We are opposed to any design that will change the character of our single story, rancher style neighborhood. This particular design appears to be seeking a variance which would allow essentially two stories, reduced set backs, and lot coverage allowances. This design would definitely encroach upon the immediate neighbors space and present a visual deviation from our neighborhood's continuity. This deviation would be readily viewed by most residents and visitors to our Sylvaner neighborhood, because the lot in question is at one of the main entrances.

We also have concern that the project is being constructed for a permanent rental with multiple units that is not conducive to our single family, owner occupied neighborhood.

We purchased our home in Sylvaner just one short year ago for its simplicity, beauty and the feel and design of the neighborhood here. This simply is NOT the neighborhood for the "mega" home being proposed.

Thank you for your consideration,

Cynthia Kee

Kelly Crane

[707.812.2102](tel:707.812.2102)

May 1, 2016.

To: Saint Helena Planning Commission

From: Ron and Tiny Boak

1690 Chardonnay Way

St. Helena, CA 94574

RE: Proposed Two-Story Home at 1695 Chardonnay Way, St. Helena

My wife and I are opposed to the proposed construction of a two-story home to be built across the street at 1695 Chardonnay Way. It appears that under the CCR's regarding building type, no two-story dwellings are allowed.

A two-story home would take away the views of the hill on the east side of the valley. We have four rooms plus our front porch from which we can enjoy the views as well as our side yard. We purposely built a low 3 1/2 foot fence so we could enjoy the views of all hills.

Thank you for your time and consideration.

Ron and Tiny Boak

Aaron Hecock

From: Daniel Schoenfeld <sez2day@gmail.com>
Sent: Tuesday, April 26, 2016 1:57 PM
To: Aaron Hecock; Aaron Hecock; Kevin O'Brien
Subject: continuation of 1695 Chardonnay till time uncertain

Hi Aaron,

I would like to request a continuation of the 1695 Chardonnay Planning Hearing set for May 3rd to determine what changes we will make on the existing submitted plan.

Please advise staff of this decision, and thanks very much for your help on this.

most appreciated,

Dan Schoenfeld

**The following notice is pursuant to
Subdivision (b) of Section 12956.1 of the
California Government Code**

Notice

If this document contains any restriction based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.2 of the Government Code. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.

Amended January 1, 2012

NAPA COUNTY

VOL 1024 PAGE 375

CB9336

RECORDED AT REQUEST OF
Western Title Ins. Co.
NAPA COUNTY RECORDS

AT 2:21 O'CLOCK P. M.
FEB 2 1977

DECLARATION OF RESTRICTIONS

Sylvaner Estates Unit #5

ELEANOR E. KIMBROUGH
COUNTY RECORDER

FEE \$ 7.00 Bc

WHEREAS, the undersigned is the owner of all that certain real property situated in the City of St. Helena, County of Napa, State of California, described as follows, to-wit:

Lots 1 thru 31 inclusive as shown on the map entitled, "Final Map of Sylvaner Estates Unit 5, filed 2-2-77 in book 11 of Maps at pages 37538 in the office of the County Recorder of said Napa County.

WHEREAS, it is desirable to restrict the use of said real property as hereinafter provided and such restrictions are for the best interest of the tract and the owners and occupiers thereof;

AND WHEREAS, the said restrictions are for the benefit of each lot and parcel in said tract;

Said conditions, covenants, restrictions and charges are part of a common general plan or scheme of restrictions and covenants with regard to said above described property and all of the lots therein contained, and are designed for the mutual benefit of each parcel and lot therein and in favor of each parcel as against the other parcels in said tract and also the owner of said parcels shall be subject to the conditions, covenants, restrictions and charges hereinafter set forth for the benefit of any lot or lots of said tract of land sold.

NOW THEREFORE, in consideration of the premises and of the covenants, herein contained it is mutually agreed and declared by the declarants hereto as follows:

(A) LAND USE AND BUILDING TYPE. No lot shall be used except for residential purposes. No Building shall be erected, altered, placed or permitted to remain on any lot other than one detached, single family dwelling not to exceed one story or split level in height and a private garage for not more than two cars.

(B) ARCHITECTURAL CONTROL. No building or structures of any kind shall be erected, placed, altered, or maintained on any portion of the real property above described, nor shall any change in the exterior color or color scheme thereof be made, until the building plans, specifications, plot plans showing the location of buildings of structures on lots and proposed exterior color and color scheme, have been approved by the architectural control committee hereinafter mentioned as to the foregoing and as to quality of workmanship and materials to be used, exterior design and its harmony with proposed and existing buildings and structures upon the above mentioned property, and after such approval all works of improvements upon the

property shall conform to the plans, specifications, color schemes and other matters mentioned above.

(C) APPURTENANT BUILDINGS. No separate garage nor any necessary or usual outbuildings shall be erected on any lot until the erection of the residence thereon has commenced and the work of construction of all buildings erected thereon shall be prosecuted diligently and continuously from the commencement thereof until the same are completed in conformity with the conditions and restrictions herein contained, such construction to be completed in a maximum of twelve consecutive months from the date of commencement of construction.

(D) MINIMUM GROUND FLOOR AREA. The ground floor area of the main structure on any lot, exclusive of one story open porches and garages, shall be not less than 1200 square feet until specifically authorized in writing by the architectural control committee.

(E) PUBLIC LAWS AND REGULATIONS. All improvements shall be in conformance with all laws, rules, regulations and ordinances of any political subdivision where applicable.

(F) EASEMENTS AND SET BACK LINES. All lots are subject to setback lines, utility and drainage easements as shown on recorded maps, and in no event shall any structure be erected, placed, altered or maintained on any lot within twenty feet of the front lot line or within ten feet of the side lot line.

(G) NUISANCES. No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done or permitted to be done thereon which may or may become an annoyance or nuisance to the neighborhood. No motor vehicles or vehicles shall be parked in yards or streets for long periods of time unless in use. Commercial vehicles or house trailers shall not be parked in streets or kept in the subdivision unless completely enclosed within a building.

No mercantile, commercial or manufacturing activity shall be maintained or operated on any lot, and without limitation as to any of the covenants and restrictions contained herein, no activity shall be carried on or permitted to be carried on in violation of the laws, ordinances and rules and regulations of any political subdivision where applicable.

(H) TEMPORARY STRUCTURE. No trailer, basement, tent, shack, garage or other outbuildings erected or maintained in the tract shall at any time be used as a dwelling, nor shall any structure of temporary character be used for dwelling purposes.

(I) DRILLING EXCAVATING. There shall be no drilling, boring, or excavating for, or the production or extraction of, water, oil, gas, or other hydro-carbon substances or any mineral substance.

(J) RUBBISH AND DEBRIS. No lot shall be used or maintained as a dumping ground for rubbish. Trash, garbage, or other waste shall not be kept except in sanitary containers. All incinerators or other equipment for the storage or disposal of such material shall be kept clean and in sanitary condition. Noxious grass, weeds or other vegetation which is unsightly or likely to constitute fire, safety or health hazard shall be promptly removed from lots by the owners thereof. In the event of the breach of the provisions of this paragraph on the part of the owner and the continuation of such breach for a period of thirty days after written notice thereof describing the breach given to the owner by the architectural control committee, such committee may take any action necessary to bring the appearance of the lot up to a level of neatness and safety consistent with the general character of the property and the lot owner shall be obligated to reimburse the committee for the reasonable cost of such work and such cost shall become a lien and assessment upon the lot which the work was done, and such remedy shall be cumulative and in addition to all other remedies available to the committee or other lot owners provided for in these covenants and restrictions. Such notice may be given by personal service upon the lot owner or any one of a joint owners thereof by certified mail, postage paid, addressed to the lot owner at his last known address, and if there is no such address known, to the committee, then such notice may be posted on a conspicuous portion of the lot and the thirty day period above mentioned shall commence upon the date of such posting.

(K) Fences, walls and hedges shall not be over six (6) feet in height, nor located in front of the front or side street set-back line unless approved in writing by the architectural control committee.

(L) No residence shall have an exposed television or radio antenna.

(M) ANIMALS AND POULTRY. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot except that dogs, cats, and other household pets in reasonable numbers may be kept provided that they are not kept, bred or maintained for any commercial purpose.

(N) PRESERVATION OF COVER. The cover along the creek on the northern boundary of the subdivision shall not be removed unless sanction is given by the architectural control committee or the Director of Public Works of the City of St. Helena.

PART II - ARCHITECTURAL CONTROL COMMITTEE

(A) MEMBERSHIP. The architectural control committee shall be composed of a minimum of three members. The first members are:

WILLIAM R. FORDE
HASKELL C. BILLINGS
EDWARD A FORDE

A majority of the committee may designate a representative to act for it. In the event of the death or the resignation of any member of the committee, the remaining members shall have full authority to act and to designate a successor. Neither the members of the committee nor its designated representatives shall be entitled to any compensation for services rendered pursuant to these covenants and restrictions. At the end of five years from the date of recordation of these covenants and restrictions, the record owners of a majority of the land area of the real property subject hereto shall have the power through a duly recorded instrument to change the membership of the committee, or to withdraw from the committee or restore to it any of its powers and duties.

(B) PROCEDURE. The Committee's approval or disapproval as required in these covenants and restrictions shall be in writing. In the event the committee, or its designated representatives, fails to approve or disapprove within fifteen days after plans and specifications have been submitted to it, or in any event, if no suit to enjoin the work of improvement or construction has been commenced prior to the completion thereof, approval will not be required and the related covenants and restrictions shall be deemed to have been fully complied with. Committee's approval or disapproval shall be deemed delivered to an applicant for approval by depositing the same in the United States Mail, postage prepaid, addressed to applicant's address as given to committee by applicant.

PART III - GENERAL PROVISIONS

(A) TERM. All of the covenants, restrictions, and reservations set forth herein are to run with the land and shall inure to the benefit of all owners of lots into which it is subdivided or other parcel holders within the tract subject to the same, and shall be binding on all parties and all persons claiming under them for a period of twenty-five years from the date these covenants and restrictions are recorded, after which time said covenants and restrictions shall be automatically extended for successive periods of ten years unless an instrument in writing signed by the then owners of a majority of the land area then subject hereto has been recorded agreeing to change the within covenants and restrictions in whole or in part.

(B) MODIFICATIONS. At the end of ten years from the date of recordation of these covenants and restrictions, any of the covenants, restrictions and reservations, set forth herein, may be modified,

altered, changed, extended or cancelled as to any lot, parcel or parcels or combination of the same, or as to any portion of the real property then subject hereto, by an instrument signed by the then owners of a majority of the land area then subject hereto and recorded.

(C) ENFORCEMENT. Enforcement of any of the provisions herein set forth in this declaration shall be at law or in equity against any person or persons violating or attempting to violate any covenant or restriction either to restrain violation hereof or to recover damages for any such violations. Any such action or actions to enforce the terms hereof may be brought by any such person or persons owning any interest in or parcel of the real property subject hereto, and by the declarations or any of them irrespective of such ownership. Should any such person bringing such action prevail therein, the owner or other person against whom such action or suit shall be commenced shall be liable for reasonable attorney's fees to be fixed by the court.

(D) SEVERABILITY. Invalidation of any of these covenants or restrictions by judgment or court shall in nowise affect any of the other provisions, which shall remain in full force and effect. Breach of any of said covenants and restrictions shall not defeat or render invalid the lien of any mortgage or deed of trust made in good faith and for value as to said lots or property or any part thereof, but such provision, restrictions, or covenants shall be binding and effective against any owner of said property whose title thereto is acquired by foreclosure, trustees sale or otherwise.

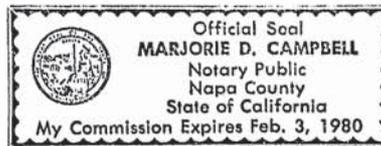
Executed 1-31-77
VALLEY DEVELOPMENT COMPANY, a partnership

By: W R Forde
W.R. FORDE, Partner

By: _____
HASKELL C. BILLINGS, a partner

By: Edward A. Forde
EDWARD A. FORDE, a partner

STATE OF CALIFORNIA
County of Napa) ss.
On January 31, 1977, before me, the undersigned
a Notary Public, in and for said State, personally appeared W. R. Forde
and Edward A. Forde
known to me to be two the partners of the partnership that executed the
within instrument, and acknowledged to me that such partnership executed the same.
My commission expires _____
Marjorie D. Campbell
Notary Public



END OF DOCUMENT



RECEIVED
PLANNING DEPARTMENT

JUN 17 2016

City of St. Helena

May 31, 2016

Page 1 of 2

Kevin Patrick O'Brien
Architect, Inc.

Residential Design and Neighborhood Planning

www.kpoarchinc.com

Aaron Hecock, AICP,
Senior Planner
City of St. Helena
1480 Main Street
St. Helena, CA. 94574

Reference: Design Review Application: 1695 Chardonnay Way, Daniel Schoenfeld

Aaron,

This letter is to accompany the revised and updated Design Review Application and Architectural Exhibits dated: Addenda #3 (5/2/16). This letter also makes an effort to address the concerns of Donna Oldford, a resident of the Sylvaner Estates Neighborhood. Donna's email correspondence to the Planning Commission is attached. It should be noted, this Application has been designed in accordance with the Planning Documents for the St. Helena Low Density (LR) District (Chapter 17.32) and the Declaration of Restrictions (CC&R's) for Sylvaner Estates, Unit #5, filed 2/2/77.

Regarding the "updates" to this Application, you will find we revised the submittal to a Single Story Residence. This required a creative solution to the Garage configuration to meet the FAR and 35% Lot Coverage Requirements. With this revised layout, we are proposing a Mezzanine, Loft over the Kitchen which is entirely "open" to the Gathering Room space.

As far as our response to the letter forwarded to the St. Helena Planning Commission and Staff, dated: 4/25/16 (Donna Oldford) her points are addressed as follows:

- 1). Sylvaner Neighborhood CC&R's: The Application has been revised to a Single Story Home as stipulated in the Sylvaner Estates Governing Document dated: (2/2/77);
- 2). Character of the Sylvaner Neighborhood: The Applicant commissioned an analysis of the existing homes in the Sylvaner Neighborhood taking note of the general "massing" of the buildings, lot coverage and overall heights of the homes for "Context and Character" reference. Daniel Schoenfeld's findings are available for review upon request;
- 3). Privacy in Backyards: Proposed Residence as designed does not include any windows directed to neighboring backyards. Refer to revised Single Story Submittal;

- 4). Overly-Intensive Lot Development: This Design Review Application complies with the City of St. Helena Low Density Residential (LR) District specifically crafted to “curb and control” overly-intensive property development. The FAR (Floor Area Ratio) and 35% Lot Coverage Requirements have also been addressed;
- 5). Highly Visible Corner Lot: The proposed home as designed is sensitive to a corner-lot condition. The Main Residence “massing” is stepped back from the corner and is actually narrower than the existing home on the property. (Existing: 58’ wide, Proposed: 55’-6” wide). The proposed detached Guest Cottage is under the allowed height limit for Accessory Buildings and is designed for “age in place” per ADA Standards for Accessible Design;
- 6). Compromise Sight Distance: The proposed Site Plan illustrates the Building Setback and Lot Coverage Compliance for Corner Lots. The building “footprint” is actually less than some homes existing in the Sylvaner Estates Neighborhood. It should be noted, the proposed demolition will remove the Existing Shed located within the Building Setbacks at the rear property line facing Spring Street. Removal of this structure will “open-up” sight lines looking East down Spring Street. Refer to Site Plan and the Sylvaner Context Study;
- 7). View Shed to the Western Hills: The proposed Single Story Application is designed in accordance with Height Limit, FAR and Building Setback Requirements per the City of St. Helena Planning Documents. The home will not impact any existing homes and their individual view shed toward the Western Hills.

End of Response.

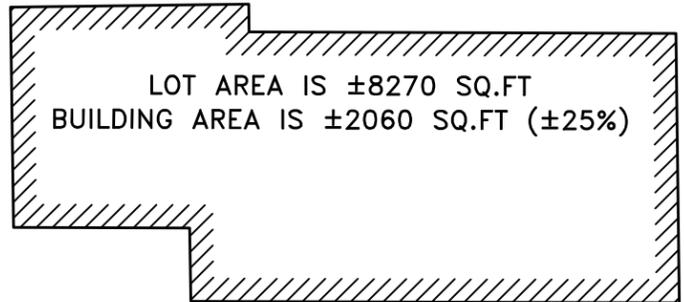
Cc: Daniel Schoenfeld, Owner/Applicant

CHARDONNAY WAY

CHORD DIRECTION=N16°58'25"W
 CHORD LENGTH=28.61'
 RADIUS=20.0'

N62°38'00"W 100.26'

S28°41'11"W 67.89'



LOT AREA IS ±8270 SQ.FT
 BUILDING AREA IS ±2060 SQ.FT (±25%)

FROM GROUND LEVEL AT BUILDING
 TO HIGHEST POINT OF THE ROOF IS
 ±14.2 FT

N28°41'11"E 50.20'

SPRING ST

S61°18'49"E 120.69'

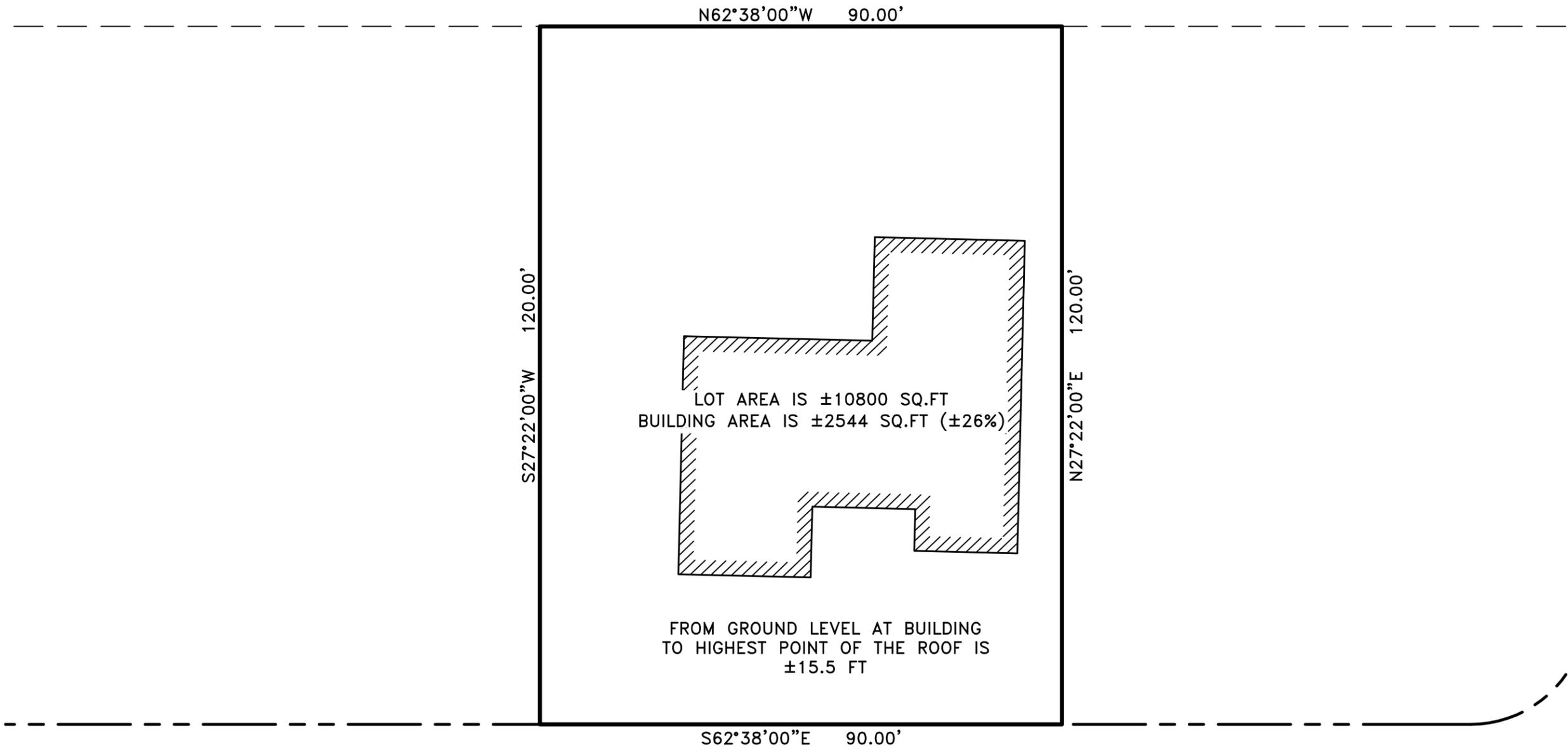


HORIZ. SCALE: 1"=20'	DRAFTED BY: VLADIMIR F.
VERT. SCALE: N/A	DESIGNED BY:
DATE: 2/2/2016	CHECKED BY:

CNA ENGINEERING INC.
 CIVIL ENGINEERING: LAND SURVEYING
 PLANNING: STRUCTURAL DESIGN
 PHONE: (916) 485-3746
 2575 VALLEY ROAD, SACRAMENTO, CA 95821
 vf.cnaeng@abcglobal.net

PLOT PLAN FOR:
 1690 CHARDONNAY WAY
 ST HELENA

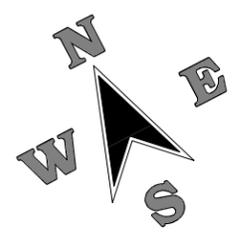
SHEET NO.:	OF SHEETS.:
1	6



CHARDONNAY WAY

LOT AREA IS ±10800 SQ.FT
 BUILDING AREA IS ±2544 SQ.FT (±26%)

FROM GROUND LEVEL AT BUILDING
 TO HIGHEST POINT OF THE ROOF IS
 ±15.5 FT

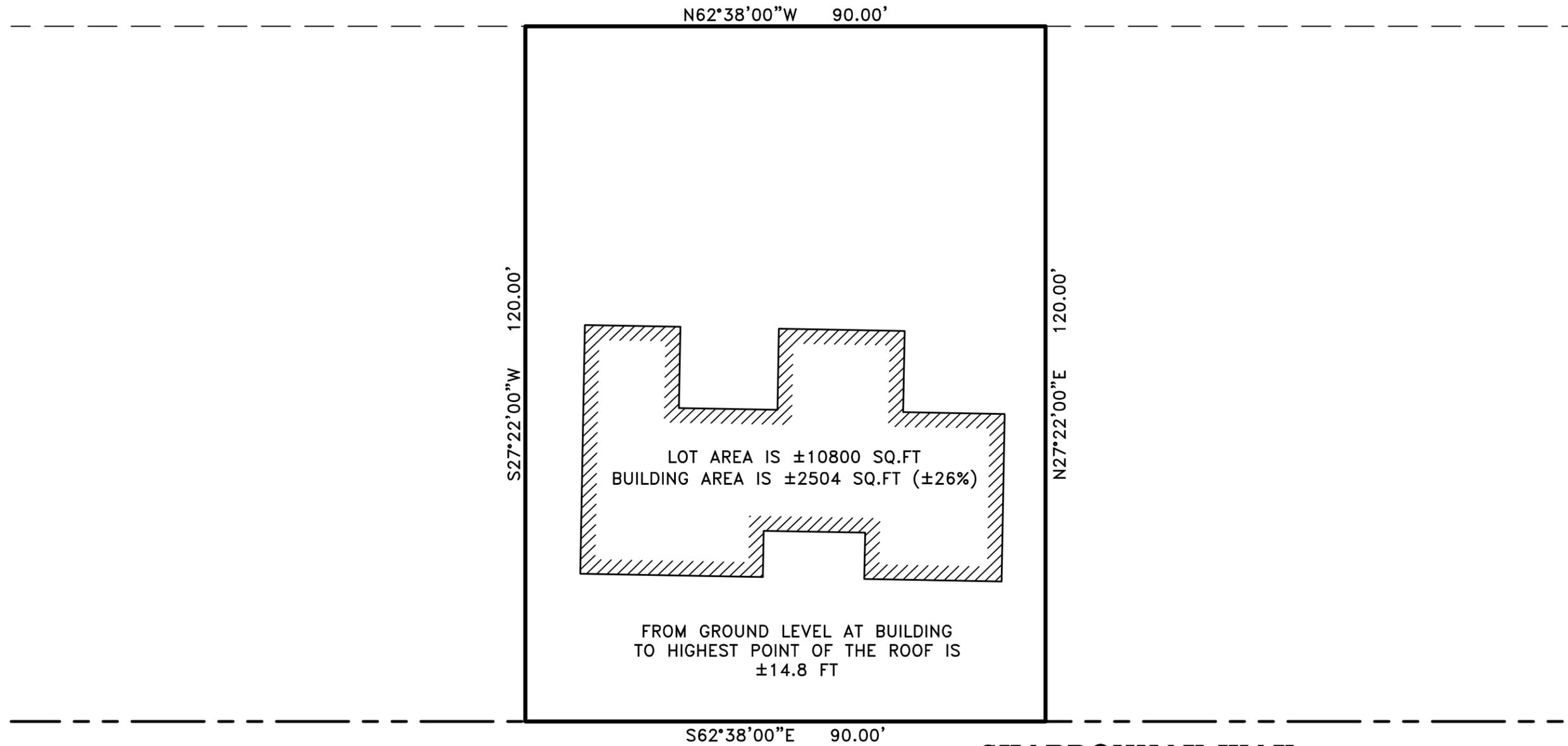


HORIZ. SCALE: 1"=20'	DRAFTED BY: VLADIMIR F.
VERT. SCALE: N/A	DESIGNED BY:
DATE: 2/2/2016	CHECKED BY:

CNA ENGINEERING INC.
 CIVIL ENGINEERING: LAND SURVEYING
 PLANNING: STRUCTURAL DESIGN
 PHONE: (916) 485-3746
 2575 VALLEY ROAD, SACRAMENTO, CA 95821
 vf.cnoeng@abcglobal.net

1675 CHARDONNAY WAY
 ST HELENA

SHEET NO.:	OF SHEETS.:
2	6



LOT AREA IS ±10800 SQ.FT
 BUILDING AREA IS ±2504 SQ.FT (±26%)

FROM GROUND LEVEL AT BUILDING
 TO HIGHEST POINT OF THE ROOF IS
 ±14.8 FT

CHARDONNAY WAY

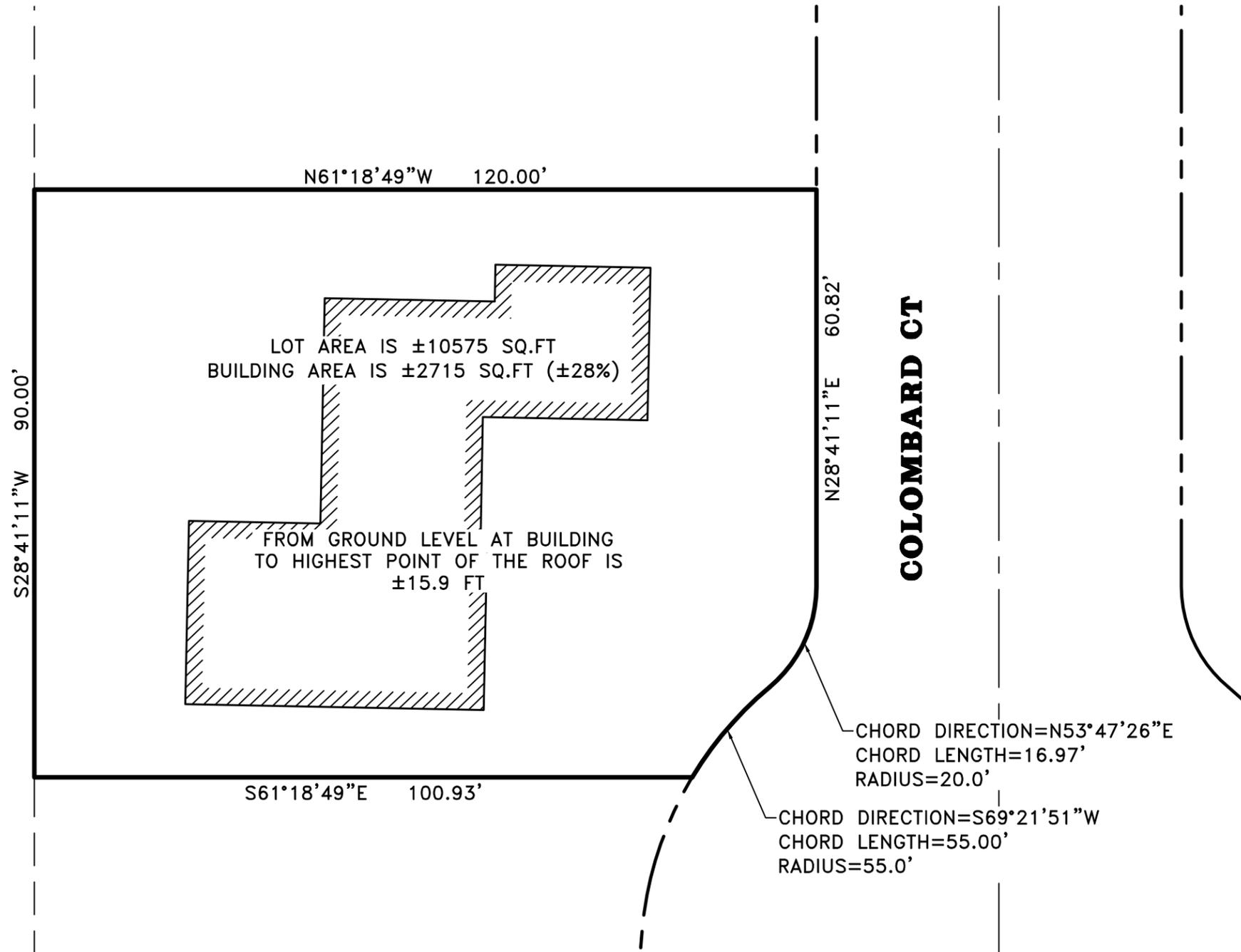


HORIZ. SCALE: 1"=20'	DRAFTED BY: VLADIMIR F.
VERT. SCALE: N/A	DESIGNED BY:
DATE: 2/2/2016	CHECKED BY:

CNA ENGINEERING INC.
 CIVIL ENGINEERING: LAND SURVEYING
 PLANNING: STRUCTURAL DESIGN
 PHONE: (916) 485-3746
 2575 VALLEY ROAD, SACRAMENTO, CA 95821
 vf.cnaeng@abcglobal.net

LOT PLAN FOR:
 1655 CHARDONNAY WAY
 ST HELENA

SHEET NO.:	OF SHEETS.:
3	6



LOT AREA IS ±10575 SQ.FT
 BUILDING AREA IS ±2715 SQ.FT (±28%)

FROM GROUND LEVEL AT BUILDING
 TO HIGHEST POINT OF THE ROOF IS
 ±15.9 FT

CHORD DIRECTION=N53°47'26\"E
 CHORD LENGTH=16.97'
 RADIUS=20.0'

CHORD DIRECTION=S69°21'51\"W
 CHORD LENGTH=55.00'
 RADIUS=55.0'

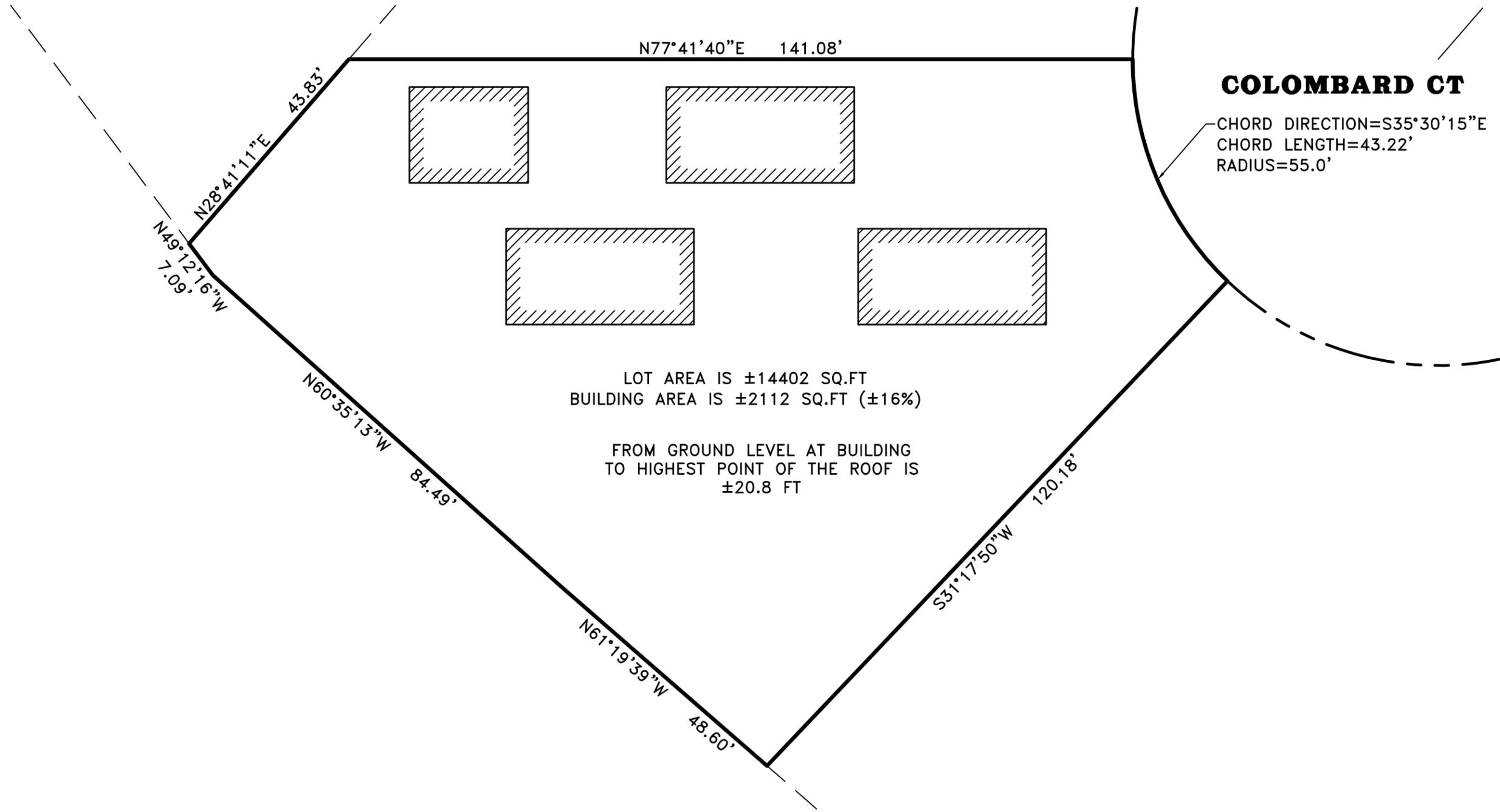


HORIZ. SCALE: 1"=20'	DRAFTED BY: VLADIMIR F.
VERT. SCALE: N/A	DESIGNED BY:
DATE: 2/2/2016	CHECKED BY:

CNA ENGINEERING INC.
 CIVIL ENGINEERING: LAND SURVEYING
 PLANNING: STRUCTURAL DESIGN
 PHONE: (916) 485-3746
 2575 VALLEY ROAD, SACRAMENTO, CA 95821
 vf.cnaeng@abcglobal.net

LOT PLAN FOR:
 2636 COLOMBARD CT
 ST HELENA

SHEET NO.:	OF SHEETS.:
4	6



LOT AREA IS ±14402 SQ.FT
 BUILDING AREA IS ±2112 SQ.FT (±16%)

FROM GROUND LEVEL AT BUILDING
 TO HIGHEST POINT OF THE ROOF IS
 ±20.8 FT

COLOMBARD CT
 CHORD DIRECTION=S35°30'15"E
 CHORD LENGTH=43.22'
 RADIUS=55.0'

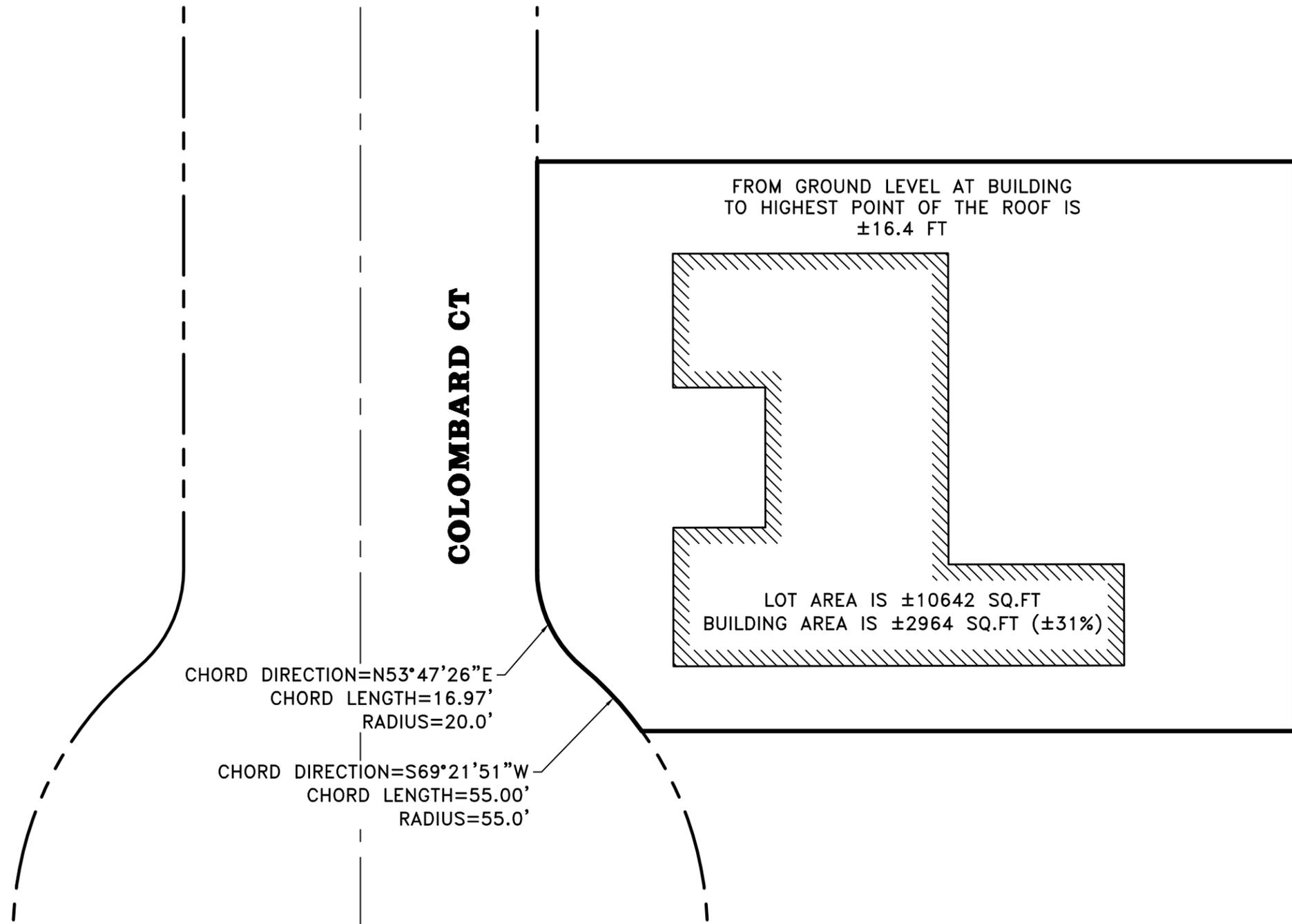


HORIZ. SCALE: 1"=20'	DRAFTED BY: VLADIMIR F.
VERT. SCALE: N/A	DESIGNED BY:
DATE: 2/2/2016	CHECKED BY:

CNA ENGINEERING INC.
 CIVIL ENGINEERING: LAND SURVEYING
 PLANNING: STRUCTURAL DESIGN
 PHONE: (916) 485-3746
 2575 VALLEY ROAD, SACRAMENTO, CA 95821
 vf.cnaeng@abcglobal.net

LOT PLAN FOR:
 2660 COLOMBARD CT
 ST HELENA

SHEET NO.:	OF SHEETS.:
5	6



HORIZ. SCALE: 1"=20'	DRAFTED BY: VLADIMIR F.
VERT. SCALE: N/A	DESIGNED BY:
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PLOT PLAN FOR:
 2635 COLOMBARD CT
 ST HELENA

SHEET NO.:	OF SHEETS.:
6	6

1695 Chardonnay water usage analysis report					
Proposed fixtures	flow rate gal/min or gal/flush	flow duration (min., flush, loads, etc.)	daily uses	number of occupants	gallons per day
Showerheads	2	8	1	18	288
Sink Faucets	1.5	0.25	3	18	20.25
Kitchen Faucet	1.5	4	1	18	108
Toilet	1.3	1	3	18	70.2
Clothes Washer	19.7	1	0.37	18	131.202
Dish Washer	6.3	1	0.1	18	11.34
				Total =	628.992

Existing	Rooms	Gallon Per Day (gdp)			
	5	150			750

*+