

**CITY OF ST. HELENA
PLANNING DEPARTMENT 1480 MAIN STREET- ST. HELENA, CA 94574
PLANNING COMMISSION**

October 18,2016

AGENDA ITEM: 9

FILE NUMBER: PL16-064

SUBJECT: Peterson Residence Design Review

PREPARED BY: Lilly Bianco, Contract Planner

REVIEWED BY: Noah Housh, Planning Director

APPLICATION FILED: 08.12.16

ACCEPTED AS COMPLETE: 09.26.16

LOCATION OF PROPERTY: 2175 Palmer Drive

APPLICANT: Holder Design Associates PHONE: 1(415) 269-5236

APN: 009-690-014

GENERAL PLAN/ZONING: LR-1A: Low Density Residential (One Acre Minimum)

PROPERTY DESCRIPTION: The subject property is a residential lot of approximately 4.25 acres improved with one (1) single family residence and one (1) single car detached garage in northwest St. Helena. The current lot coverage is 8.1% with a floor area ratio (F.A.R) of 7.2.

PROJECT DESCRIPTION:

Applicant, Holder Design Associates, is requesting Design Review approval, on behalf of property owners, Ryan and Heather Peterson, to perform a series of exterior modifications at 2175 Palmer Drive. All changes are confined to the single family residence and detached garage; no changes are proposed for the site or landscaping with the exception of a new foundation for the proposed front porch and replacement of brick walkway with pavers (**Attachment 4**).

The project at 2175 Palmer Drive is located in the LR-1A: Low Density Residential Zoning District. The proposed modifications include:

- Replacement of roof frame and reduction in width of roof eaves
- Replacement of the existing single family residence roof with a dark bronze standing seam metal roof with skylights
- New Chimney

- Replacement of all existing fenestration with wood clad windows and doors,
- Patching, repair, and painting of stucco cladding,
- Introduction of front porch with steel frame trellis at building entrance,
- Replacement of brick walkway with pavers
- Replacement of garage roof to be consistent with that of the residence, and
- Replacement of arched garage doors with square garages doors.

ANALYSIS

GENERAL PLAN

The subject property exhibits a General Plan Land Use designation of Low Density Residential, providing for single-family detached homes, secondary residential units, limited agricultural uses, public and quasi-public uses, and similar and compatible uses. Residential densities must be within the range of 1.0 to 5.0 units per gross acre. This particular designation is confined to areas of the City where large, residentially subdivided parcels define the development pattern, particularly near the City's perimeter.

Relevant General Plan policies include:

4.3.4 *Strengthen community identity by appropriate building design, size, and site landscaping.*

Given that the project consists of minor exterior modifications and will not alter the use of the property, the project is consistent with all applicable General Plan policies.

ZONING

Consistent with the GP land use designation, 2175 Palmer Drive exhibits a zoning designation of LR-1A: Low Density Residential-One Acre Minimum. The LR-1A zoning designation allows for single-family detached homes, accessory dwelling units, limited agricultural use and other compatible uses insofar as they conform to the development standards prescribed by Municipal Code Section 17.36.060. Review of the project indicates that it meets all applicable development standards; the exterior modifications are limited to cosmetic updates and will not substantially alter the size, scale, of area of the residence or detached garage. No changes are proposed for the site or landscaping with the exception of new foundation for the proposed front porch and pavers between the garage and the house. At present, the residence meets all development criteria including height, setback, and floor area criteria prescribed by Section 17.36.060 and shown in **Table I**, below, and will continue to do so with only very minor changes to the existing condition. Accordingly, the project is consistent with all applicable zoning provisions.

Table 1
Project Consistency with LR-1A Development Standards

| STANDARD | ALLOWED | EXISTING | PROPOSED | CONSISTENT? |
|-------------------------|----------|----------|----------|-------------|
| Max Lot Coverage | | | | |
| Ratio | 35% | 8.1% | 8.1% | ✓ |
| Area | 17,838sf | 4153sf | 4153sf | |
| Floor Area Ratio | 11.89 | 7.2 | 7.1 | ✓ |
| Height | | | | |
| Principal Building | 30' | 16'6" | 19'3" | ✓ |
| Accessory Structure | 15' | N/A | N/A | |
| Setbacks (≤ 25' Height) | | | | |
| Front | 20' | 20' | 20' | ✓ |
| Int. Side | 10' | 10' | 10' | |
| Rear | 20' | 20' | 20' | |
| Parking | | | | |
| Covered | 1 | 2 | 2 | ✓ |
| Uncovered | 2 | 2 | 2 | |

CEQA

The project is categorically exempt in accordance with CEQA Section 15301 “existing facilities” as the minor alteration of an existing private structure involving a negligible expansion of use beyond that existing at the time of the lead agency's determination. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not located on or near an environmentally sensitive area, is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

WATER NEUTRALITY

In August 2015 and pursuant to Ordinance 2015-5 the City of St. Helena established mandatory water efficiency measures for new construction, and adopted water demand offset requirements enumerated in Chapter 13.12.050 of the Municipal Code. Amongst these provisions is the requirement that any “new development” (i.e. construction that would introduce any freestanding building that contains water-using fixtures, any floor area additions to existing nonresidential structures, or any residential additions or remodeling that increases the number of independent living units) offset new demand by an amount of water equal to the new demand placed on the city water system using the methodology defined in Code section 13.12.050. The offset must be clearly demonstrated to the satisfaction of the Director of Public Works.

The proposed project does not meet the definition of “new development” as defined in code Section 13.12.050 and is not expected to place new demand on the City’s water system beyond that which currently exists and therefore is not subject to the City’s water neutrality policy. Nevertheless, as part of the interior remodel, the applicant is proposing to update all water fixtures with new water efficient fixtures which will reduce the daily and annual water demand, as described on page A0.0 of project plans (**Attachment 4**).

DESIGN REVIEW

The purpose of design review is to, amongst other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. To approve design review, the Commission must find that the project is consistent with the design criteria prescribed by Section 17.164.030 and exhibits a quality of design that is compatible with adjacent development, features a siting, scale, massing and architectural style that is generally consistent with the predominant development patterns and that does not otherwise detract or negatively affect the established character of the surrounding neighborhood.

The proposed project is located off of Palmer Drive and is partially shielded from view due to the presence of vegetation and tree canopy. Proposed exterior changes include the introduction of a dark bronze standing seam metal roof, new chimney, replacement of fenestration with wood clad windows and doors, repair of stucco siding and introduction of front porch with steel trellis at the home’s entrance and as shown on project plans (**Attachment 4**). Alterations are limited to cosmetic updates of the existing residence and garage to provide for a more contemporary appearance. No changes are proposed that would substantially alter the size, scale or height of the house. The proposed cosmetic changes appear to be of a scale, massing, and quality of design that is compatible with the existing construction and that of adjacent buildings and structures. As such, staff determines that the project adequately meets the design review criteria outlined in Section 17.164.030, particularly no. 2, 7, 13, and in bold text below.

Design Criteria

1. Consistency and compatibility with applicable elements of the general plan;
- 2. Compatibility of design with the immediate environment of the site;**
3. Relationship of the design to the site;
4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;
5. Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;
6. Compatibility with future construction both on and off the site;
- 7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;**

8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;
9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;
10. Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;
11. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;
12. Whether natural features are appropriately preserved and integrated with the project;
- 13. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;**
14. In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;
15. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;
16. Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;
17. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

CORRESPONDENCE

No comments have been received at the drafting of this staff report.

ISSUES

Given the straightforwardness of the proposal and consistency with applicable guidelines and standards no unresolved issues require attention at this time.

STAFF RECOMMENDATION

The Planning and Community Improvement Department recommends that the Planning Commission:

1. Determine that the project is categorically exempt from the requirements of CEQA pursuant to CEQA Section 15301 "existing facilities" as the minor alteration of an

existing private structure involving a negligible expansion of use beyond that existing at the time of the lead agency's determination.

2. Accept the required findings enumerated in Municipal Code Section 17.164.030 and adopt a resolution approving Design Review for the proposed Peterson Residence Remodel.

ATTACHMENTS

1. Resolution/ Conditions of Approval
2. APN Map
3. Aerial View
4. Project Plans dated September 9, 2016

CITY OF ST. HELENA PLANNING COMMISSION

RESOLUTION PCXXX

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ST. HELENA
GRANTING DESIGN REVIEW APPROVAL FOR EXTERIOR MODIFICATIONS TO
THE PETERSON RESIDENCE LOCATED AT 2175 PAMER DRIVE**

PROPERTY OWNER: Ryan and Heather Peterson

APN: 009-690-014

Recitals

A. Whereas, Holder Design Associates submitted an application for a Design Review to perform exterior modifications to the existing residence and detached garage at 2175 Palmer Drive in the LR-1A: Low Density Residential - 1 Acre Minimum Zoning District, and

B. Whereas, the proposed exterior modifications are generally limited to cosmetic changes and will not substantially alter the size, scale, or floor area of the proposed residence or detached garage.

D. Whereas, A staff report dated October 18, 2016 and incorporated herein by reference analyzed the projects consistency with the Design Criteria enumerated in Section 17.164.030 of the Municipal Code, and

D. Whereas, the Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on October 18, 2016, and

E. Now, therefore let it be found that, the Planning Commission approves Design Review and authorizes the modifications contained in said plans, date stamped September 14, 2016, based on the findings below and subject to the conditions of approval enumerated herein.

Resolution

1. The project is categorically exempt in accordance with CEQA Section 15301 "Existing Facilities" as the minor alteration of an existing private structure involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The proposed project is not subject to any of the exceptions to the use of a categorical exemption as outlined in CEQA Section 15300.2. The project site is not located on or near an environmentally sensitive area, is not visible from a scenic highway, is not included on a hazardous waste site, and will not impact historic resources or otherwise generate or contribute to any potentially significant impacts.

2. The project is consistent with the design review criteria prescribed by Municipal Code Section 17.164.030 and enumerated below, in that the design, massing, scale, and materials of the proposed remodel, are compatible with the existing development on the subject site and in the immediate vicinity and the project will not detract or otherwise degrade the established character of the neighborhood.

Proposed exterior changes include the replacement of the existing residence and garage roofs with a dark bronze standing seam metal roof, replacement of fenestration with wood clad windows and doors, replacement of garage doors, repair of stucco siding and introduction of front porch with steel trellis at the home's entrance. No changes are proposed that would substantially alter the size, scale or height of the house. Accordingly, the proposed cosmetic changes appear to be of a scale, massing, and quality of design that is compatible with the existing construction and that of adjacent buildings and structures.

Design Criteria:

1. Consistency and compatibility with applicable elements of the general plan;
2. Compatibility of design with the immediate environment of the site;
3. Relationship of the design to the site;
4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;
5. Whether the design promotes harmonious transition in scale and character in areas between different designated land use;
6. Compatibility with future construction both on and off the site;
7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;
8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;
9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;
10. Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;
11. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;
12. Whether natural features are appropriately preserved and integrated with the project;
13. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;
14. In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;
15. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether

- the landscape concept depicts an appropriate unity with the various buildings on the site;
16. Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;
 17. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

F. Now therefore be it further resolved that, the Design Review for the above described project is granted subject to compliance with all applicable provisions of the Zoning Code subject to each of the following conditions. Permit shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

Conditions of Approval

1. The Permit shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.
2. The plans submitted for building permit review shall be in substantial conformance with the plans on file in the Planning Division, date stamped September 14, 2016, except as modified by the following conditions.
3. The Design Review Approval shall be vested within one (1) year from the date of approval. A building permit for the use allowed under this approval shall have been obtained within one (1) year from the effective date of the Use Permit and Design Review decision or these approvals shall expire; provided however that the approved Use Permit and Design Review may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.030, Extension of Permits and Approvals.
4. The Design Review Approval shall become effective fourteen (14) calendar days after approval, provided that the action is not appealed by the City Council or any other interested party within that 14 day period.
5. Any request for an extension of the Design Review Approval must be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
6. All required fees, including planning fees, development impact fees, building fees, retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of building permit.

7. Prior to issuance of construction permits, compliance with conditions of approval shall be clearly identified on all plans. A copy of approved plans with the conditions listed shall be maintained on-site during construction activities.
8. Conditions shall be achieved at such a time as determined by the City and shall be achieved at the requisite stage and before issuance of certificate of occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
9. The applicant shall defend and indemnify and hold the City, its agents, officers, and employees harmless of any claim, action or proceedings to attack, set aside, void or annul an approval so long as the City promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
10. This Design Review approval shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
11. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The owner/applicant is responsible for meeting with the Building Official / Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and the accessibility standards of Title 24.
12. No structure shall be permitted over any existing property lines. Documentation of the location of the property lines shall be submitted with plans for building permit issuance.
13. Provided they are in general compliance with the approved Design Review, minor modifications found to be in substantial conformance with the approved design and use may be approved by the Planning Director.

Building Department Conditions of Approval

14. A building permit is required for all onsite demolition, construction and/or change of occupancy.
15. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2013 Title 24 codes.
16. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
17. The applicant shall provide a construction waste management plan with the building permit application.

18. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
19. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
20. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.

I HEREBY CERTIFY that the foregoing Design Review Exemption was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on October 18, 2016, by the following roll call vote:

AYES:

NOES:

ABSENT:

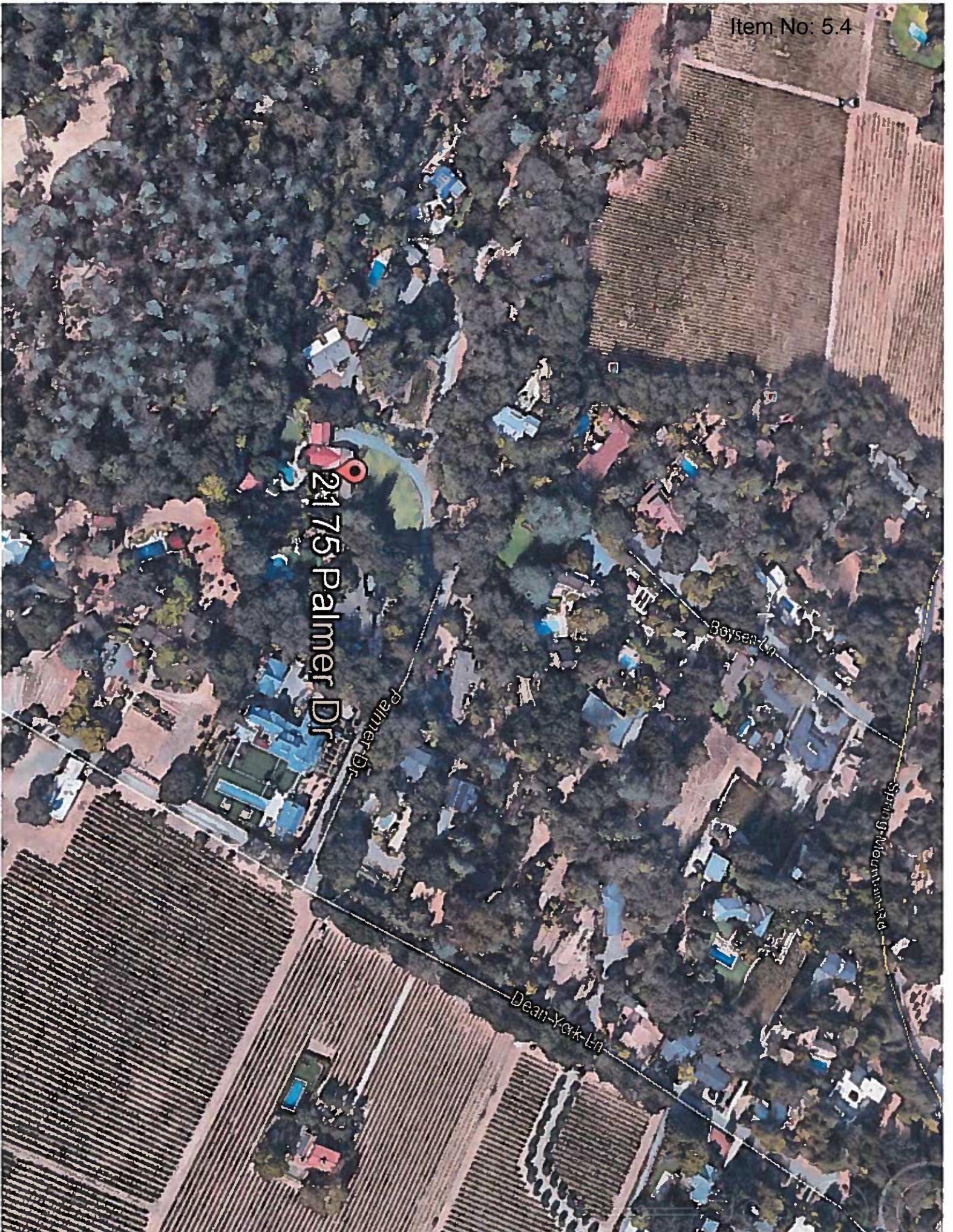
ABSTAIN:

APPROVED:

ATTEST:

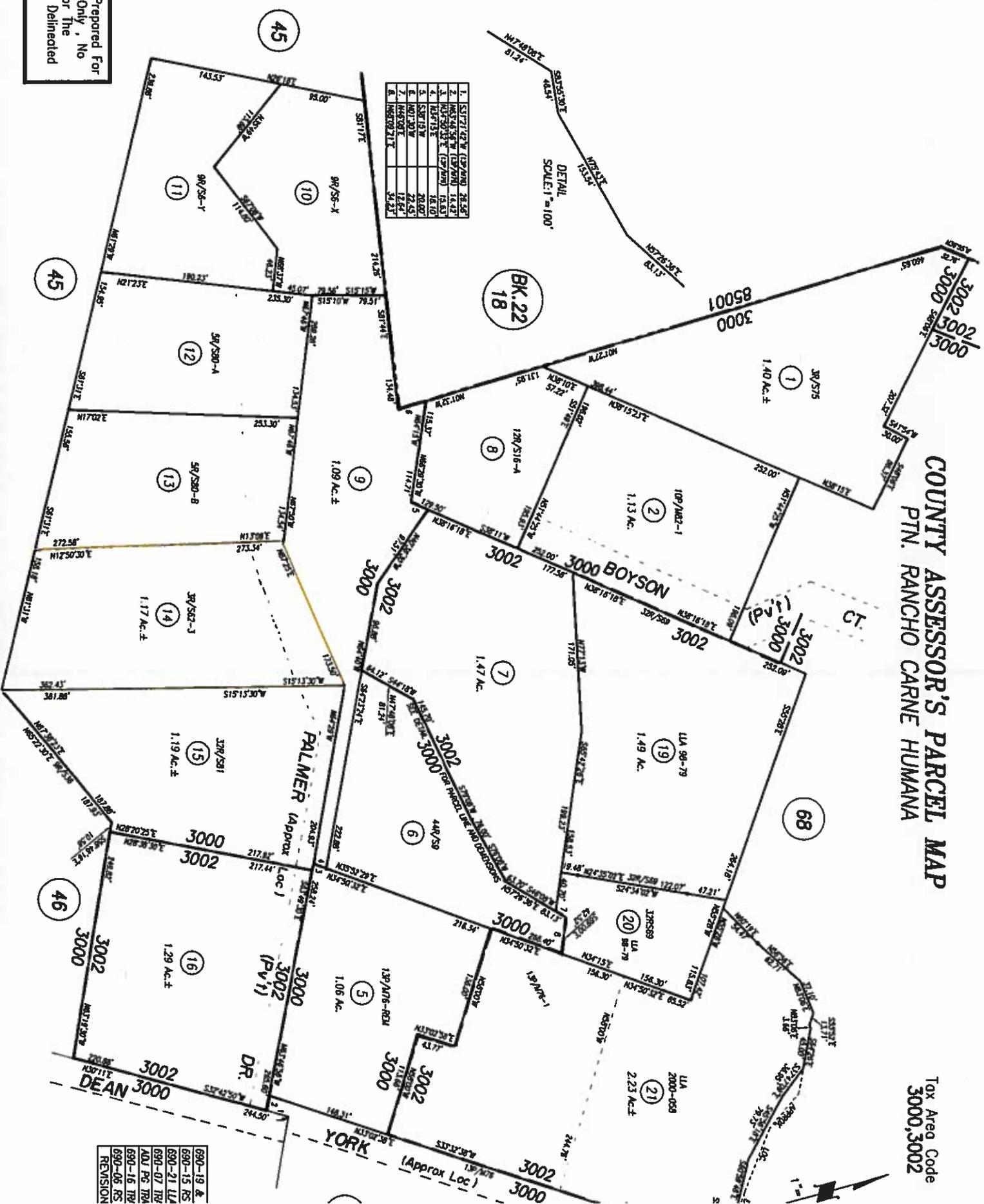
Sarah Parker
Chair, Planning Commission

Noah Housh,
Planning and Community
Improvement Director



E: This Map Was Prepared For Assessment Purposes Only. No Liability Is Assumed For The Accuracy Of The Data Delineated Hereon.

| | | |
|----|----------------------|-------|
| 1. | S1271427W (127/2000) | 28.56 |
| 2. | N4254458W (127/2000) | 14.43 |
| 3. | N4254458W (127/2000) | 14.43 |
| 4. | N4254458W (127/2000) | 14.43 |
| 5. | S1271427W | 28.02 |
| 6. | N4254458W | 22.45 |
| 7. | N4254458W | 12.64 |
| 8. | N4254458W | 14.43 |

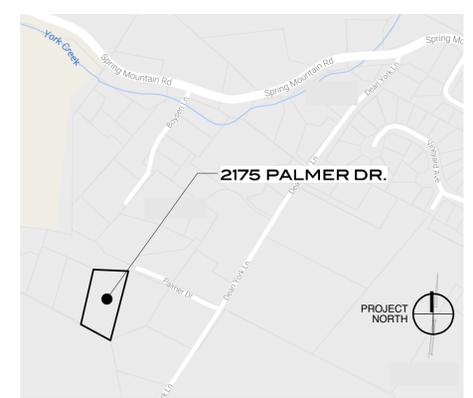


COUNTY ASSESSOR'S PARCEL MAP
PTN. RANCHO CARNE HUMANA

Tox Area Code
3000,3002

| |
|-----------|
| 690-19 & |
| 690-15 RS |
| 690-21 LL |
| 690-07 TR |
| 690-16 TR |
| 690-06 RS |
| REVISION |

VICINITY MAP NOT TO SCALE



PROJECT DESCRIPTION

EXTERIOR REMODEL OF PORTIONS OF ROOF FRAME , REPLACEMENT OF ROOFING MATERIAL TO DARK BRONZE STANDING SEAM METAL ROOFING, ALL EXISTING WINDOWS. PATCH & REPAIR (E) STUCCO OF MAIN RESIDENCE.

INTERIOR REMODEL OF MAIN RESIDENCE, NO ADDITIONAL BEDROOMS OR BATHROOMS.

REPLACEMENT OF ROOF MATERIAL OVER GARAGE TO DARK BRONZE STANDING SEAM METAL ROOFING

NO SITE WORK, EXCAVATION OR LANDSCAPE WORK PROPOSED, OTHER THAN FOUNDATION FOR FRONT PORCH



PROPOSED PERSPECTIVE FROM PALMER DR. 1
N.T.S.

PROPOSED DOMESTIC WATER DEMAND WITH WATER REDUCTION MEASURES:

| WATER ANALYSIS REPORT | | | | | | | |
|-----------------------|----------|------|-------------|----------|------|-------------|------------------|
| FIXTURE | EXISTING | | | PROPOSED | | | IMPROVEMENTS |
| | QTY | FLOW | GPM | QTY | FLOW | GPM | |
| LAV. FAUCET | 5 | 2.1 | GPM | 5 | 1.5 | GPM | 0.6 GPM |
| SHOWER HEAD | 3 | 2.5 | GPM | 2 | 1.5 | GPM | 1 GPM |
| TOILET | 3 | 2.5 | G PER FLUSH | 3 | 1.2 | G PER FLUSH | 1.22 G PER FLUSH |
| KITCH. FAUCET | 1 | 2 | GPM | 1 | 1.28 | GPM | 1 GPM |

THE DOMESTIC WATER USAGE FOR THE PROPERTY WILL PRODUCE NO NET INCREASE IN DEMAND TO THE CITY OF ST. HELENA'S WATER SYSTEM. THERE IS NO INCREASE TO THE EXISTING NUMBER OF LIVING UNITS, BEDROOMS DENS OFFICES OR GAME ROOMS.

IN ADDITION, ALL WATER FIXTURES IN THE HOUSE WILL BE REPLACED WITH NEW WATER EFFICIENT FIXTURES.

BY UTILIZING LOW-FLOW AND WATER EFFICIENT FIXTURES IN THE PROPOSED RESIDENCE, THE ANTICIPATED DOMESTIC WATER REQUIREMENTS ARE ABLE TO BE SIGNIFICANTLY REDUCED FROM WATER USED IN NON-WATER EFFICIENT HOMES.

THE FOLLOWING IS A LIST OF LOW-FLOW FIXTURES AND APPLIANCES PROPOSED TO BE INSTALLED IN THE NEW RESIDENCE:

- HIGH-EFFICIENCY TOILETS IN ALL BATHROOMS (1.28 GPF)
- LOW FLOW KITCHEN AND LAVATORY FAUCETS (1.5 GPM)
- LOW-FLOW SHOWERHEAD (1.5 GPM)
- CLOTHES WASHER LISTED ON THE CONSORTIUM FOR ENERGY EFFICIENCY'S 'SUPER EFFICIENT HOME APPLIANCE' INITIATIVE
- DISHWASHER LISTED ON THE CONSORTIUM FOR ENERGY EFFICIENCY'S 'SUPER EFFICIENT HOME APPLIANCE' INITIATIVE DISHWASHER QUALIFYING PRODUCT LIST.

UTILIZING THE ABOVE-NOTED FIXTURES IN THE PROPOSED RESIDENCE, THE DAILY AND ANNUAL WATER DEMANDS FOR THE PROPERTY WILL BE REDUCED

GENERAL PROJECT REQUIREMENTS:

- FIRE SPRINKLERS – REQUIRED, UNDER A SEPARATE PERMIT.**
 - HOUSE STREET ADDRESS SHALL BE:**
 - AT LEAST 4 INCHES TALL IN HEIGHT,
 - ADJACENT TO THE ENTRANCE,
 - PLACED ADJACENT TO A LIGHT, BACKLIT OR INTERNALLY ILLUMINATED
 - POSTED AS TO BE VISIBLE FROM THE STREET.
 - PROVIDE PHOTOCCELL SWITCH ONLY. NO MANUAL CONTROL OTHER CIRCUIT BREAKER
 - IF NOT VISIBLE FROM THE STREET, ADDITIONAL SIGNAGE WILL BE REQUIRED.
 - FIRE BREAK AND DEFENSIBLE SPACE:** BRUSH AND WEEDS SHALL BE CLEARED A MINIMUM CLEARANCE OF 30 FEET FROM STRUCTURES AND 10 FEET FROM ROADS AND PROPERTY LINES. SEE SHEET A1.0 FOR ADDITIONAL NOTES AND RESOURCES.
 - ADDITIONAL DEFERRED APPROVALS:** –ELECTRICAL LOAD CALCS DUE AT 1ST INSPECTION
 - DEMO PERMIT:** SEE PERMIT REQUIREMENTS ON THIS SHEET.
 - CERTIFICATE OF OCCUPANCY:** REQUIRED PRIOR TO USE AND OCCUPANCY. ALL REQUIRED INFORMATION IS LISTED ON TITLE SHEET.
 - GRADING PERMIT:** CONTRACTOR TO PROVIDE CALCULATIONS QUANTITIES OF EXCAVATION, MATERIAL OFF HAUL, MATERIAL IMPORT AND TOTAL FILL FOR FOUNDATIONS AND DRIVEWAY. IF THE EXCAVATION, OFF-HAUL OR IMPORT IS EQUAL OR GREATER THAN 25 CY, A SEPARATE GRADING PERMIT IS REQUIRED. IF EQUAL TO OR GREATER THAN 100 CY, PLANNING COMMISSION APPROVAL IS REQUIRED.
 - TITLE 24 –ADDITIONAL SUBMITTAL REQUIREMENTS:** THE CONTRACTOR MUST HAVE PROVIDE THE APPLICABLE SECTIONS OF THE CF-6R TO THE OWNER AND BLDG OFFICIAL PRIOR TO REQUEST FOR FINAL INSPECTION. IF NOT ALREADY PROVIDED AS PART OF A PERFORMANCE TYPE ANALYSIS, THE CF-4R MUST ALSO BE PROVIDED.
 - EROSION CONTROL MEASURES:** BEFORE A REQUEST FOR FINAL INSPECTION, ANY AREA WHERE SOIL IS DISTURBED MUST BE TOTALLY REVEGETATED WITH A GROUND COVER ACCEPTABLE TO THE RVFD AND THE PUBLIC WORKS DIRECTOR; OR A PERMANENT EROSION CONTROL SYSTEM SUCH AS AN EROSION CONTROL BLANKET AND MULCH COVERED WITH A TACKIFIER. THERE ARE NO EXCEPTIONS TO THIS REQUIREMENT AND TEMPORARY PLANTINGS MAY BE REQUIRED IN ORDER TO COMPLY. FOR MORE INFORMATION, REFER TO MCSTOPP.ORG
- A DETAILED EROSION CONTROL PLAN DEVELOPED BY A CIVIL ENGINEER MUST BE SUBMITTED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE START OF WORK. EROSION CONTROL MEASURES MUST BE MAINTAINED CONTINUOUSLY BETWEEN OCT 15 AND APRIL 15.
- CONSTRUCTION MANAGEMENT PLAN (CMP)** MUST BE REVIEWED AND APPROVED BY BLDG OFFICIALS BEFORE ISSUANCE OF PERMIT.

PLANNING & ZONING DATA

| | | | |
|--|-------------------------------|------------|------------|
| ADDRESS: | 2175 PALMER DRIVE, ST. HELENA | | |
| ASSESSOR'S PARCEL # | 009-690-14 | 1 | |
| STORIES (E) & PROPOSED | 1 | 1 | |
| ZONING TYPE: | LR-1A | | |
| BLDG TYPE: | VB PER CBC 601.1 | | |
| OCCUPANCY GROUP | R | | |
| TOTAL LOT AREA: | 50965 SF | | |
| AVERAGE SLOPE: | 4 % | | |
| LOT COVERAGE RATIO | | | |
| MAX LOT COVERAGE RATIO: | 35 % | | |
| MAX LOT COVERAGE AREA: | 17838 SF | | |
| EXISTING: PROPOSED | | | |
| MAIN HOUSE | 2832 | 2832 | |
| DETACHED GARAGE | 618 | 618 | |
| POOL HOUSE | 598 | 598 | |
| SHED | 105 | 105 | |
| TOTAL BLDG AREA | 4153 | 4153 | |
| LOT COVERAGE RATIO: | 8.1 % | 8.1 % | |
| FLOOR AREA RATIO | | | |
| MAX FLOOR AREA RATIO: | 11.89 % | | |
| MAX FLOOR AREA: | 6069 SF | | |
| FLOOR AREA: EXISTING: PROPOSED: | | | |
| MAIN FLOOR | 2832 SF | 2832 SF | |
| (N) FLOOR AREA | N/A | -19 SF | |
| FLOOR AREA SUBTOTAL | 2832 SF | 2813 SF | |
| POOL HOUSE AREA | 598 SF | 598 SF | |
| GARAGE AREA | 618 SF | 618 SF | |
| GARAGE DEDUCT (400 MAX) | -400 SF | -400 SF | |
| | 218 SF | 218 SF | |
| AREA TOTAL | 3648 SF | 3629 SF | |
| CALCULATED FAR: | 7.2 % | 7.1 % | |
| BLDG LIMITATIONS: | | | |
| MAX BLDG. HT. (PRINCIPAL): | 30 FT | 16 FT 6 IN | 19 FT 3 IN |
| MAX BLDG. HT. (ACCESSORY): | 15 FT | N/A FT | N/A FT |
| STRUCTURES 25' HIGH OR LESS | | | |
| SETBACKS FRONT | 20 FT | FT | FT |
| SIDE YARDS | 10 FT | FT | FT |
| REAR YARD | 20 FT | FT | FT |
| STRUCTURES 25' TO 30' HIGH | | | |
| SETBACKS FRONT | 30 FT | FT | FT |
| SIDE YARDS | 15 FT | FT | FT |
| REAR YARD | 30 FT | FT | FT |
| PARKING SPACES (9'x19'): REQUIRED PROPOSED: | | | |
| COVERED | 1 | 2 | |
| UNCOVERED | 2 | 2 | |
| FEMA FLOOD ZONE DATA | N/A | | |

PROJECT CONTACTS

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BUILDER
T.B.D.

STRUCTURAL ENGINEER:
T.B.D.

APPLICABLE CODE NOTICE:

- ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH THE FOLLOWING:
- 2013 CALIFORNIA RESIDENTIAL CODE (CRC), 1 & 2-FAMILY DWELLINGS ONLY
 - 2013 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2013 CALIFORNIA PLUMBING CODE (CPC),
 - 2013 CALIFORNIA MECHANICAL CODE (CMC),
 - 2013 CALIFORNIA GREEN BUILDING STANDARDS
 - 2013 CALIFORNIA ENERGY CODE
 - CURRENT NAPA COUNTY CODE

SHEET INDEX

A0.0 TITLE SHEET

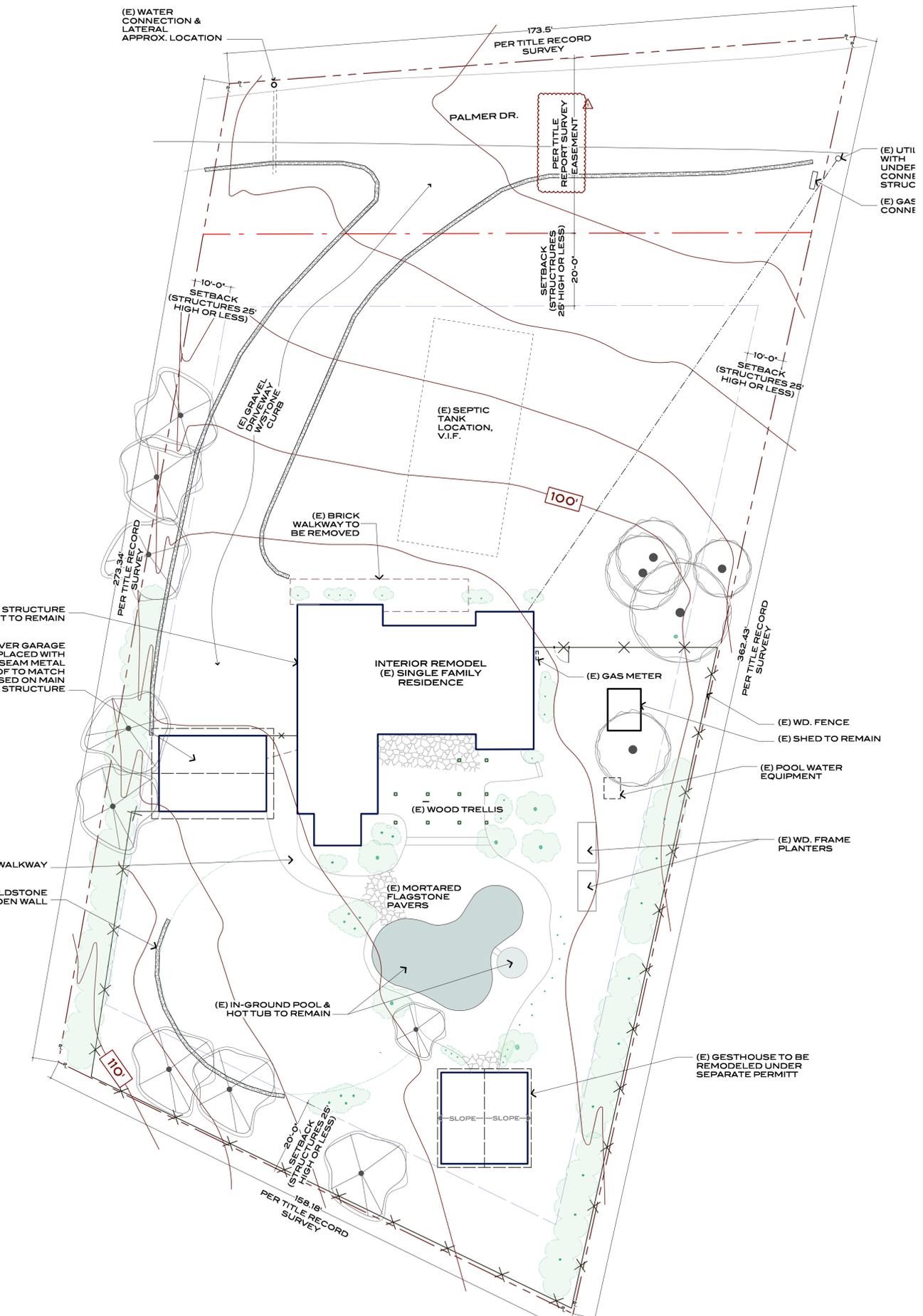
ARCHITECTURAL SHEETS

- A1.0 SITE PLAN-EXISTING & VEGETATION
- A2.0 MAIN LEVEL-EXISTING/DEMO PLAN
- A2.1 MAIN LEVEL-PROPOSED PLAN
- A2.2 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS-SOUTH
- A3.1 EXTERIOR ELEVATIONS-WEST
- A3.2 EXTERIOR ELEVATIONS-NORTH
- A3.3 EXTERIOR ELEVATIONS-EAST
- A3.4 BUILDING PERSPECTIVES-PROPOSED
- A4.0 BUILDING SECTIONS-PROPOSED
- A7.0 WINDOW & DOOR SCHEDULE



VEGETATION MGT. PLAN
1:200

Scale: 0 6 12 18 FT
PROJECT NORTH



EXISTING SITE PLAN
1:200

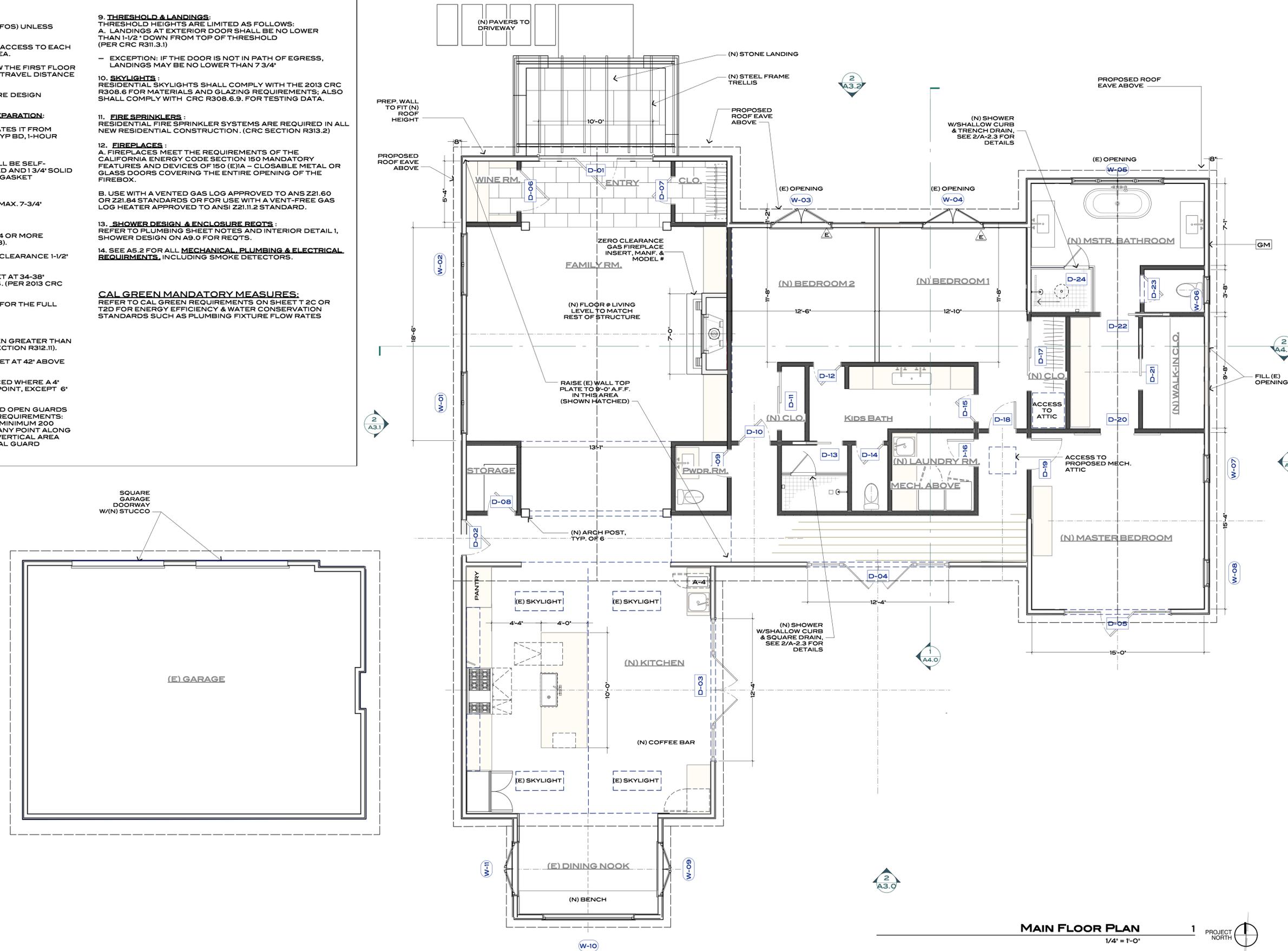
Scale: 0 6 12 18 FT
PROJECT NORTH

FLOOR PLAN SHEET NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD (FOS) UNLESS OTHERWISE INDICATED
- PROVIDE MIN. 18" X 24" CLR UNDER FLOOR ACCESS TO EACH SEGMENT OF ENCLOSED CRAWL SPACE AREA.
- EXITING FROM FLOORS ABOVE OR BELOW THE FIRST FLOOR HAS BEEN REVISED TO LIMIT THE MAXIMUM TRAVEL DISTANCE TO 50 FEET. (CRC SECTION R311.4)
- SEE SHEET A9.0 FOR SHOWER ENCLOSURE DESIGN REQUIREMENTS PER CRC.
- GARAGE AND DWELLING OCCUPANCY SEPARATION:**
 - AT AN GARAGE WALL WHICH IS SEPARATES IT FROM LIVING SPACE,, PROVIDE MIN. 5/8" TYPE 'X' GYP BD, 1-HOUR RATED ASSEMBLY.
 - GARAGE ACCESS DOOR REQ'TS: FOR INTERIOR GARAGE ACCESS DOOR SHALL BE SELF-CLOSING AND LATCHING, WITH 20-MIN RATED AND 1 3/4" SOLID CORE, (PER CRC R302.5.1) PROVIDE SMOKE GASKET
- STAIR DESIGN:**
STAIRS DIMENSIONS: TREAD MIN. 10", RISER MAX. 7-3/4" (PER 2013 CRC R311.7.5.1 & R311.7.5.2)
- HANDRAILS (PER 2013 CRC R311.7.8)**
 - PROVIDE HANDRAIL AT ALL STAIRS WITH 4 OR MORE CONTINUOUS RISERS (PER 2013 CRC R311.7.8).
 - HANDRAILS DIM 1.5 TO 2" DIAMETER, MIN. CLEARANCE 1-1/2" FROM THE WALL (PER 2013 CRC R311.7.8.3)
 - THE TOP OF ALL HANDRAILS SHALL BE SET AT 34-38" ABOVE ALL LANDINGS AND TREAD NOSINGS. (PER 2013 CRC R311.7.8.1)
 - THE HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS.
- GUARDRAILS:**
 - PROVIDE GUARDRAILS AT SURFACES WHEN GREATER THAN 30" ABOVE SURFACE BELOW, PER (CRC SECTION R312.11).
 - THE TOP OF ALL GUARDRAILS SHALL BE SET AT 42" ABOVE FINISHED FLOOR.
 - THE INTERMEDIATE RAILS SHALL BE SPACED WHERE A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT, EXCEPT 6" AT STAIR RISER (PER CRC R312.1.3)
 - THE DESIGN LOADS FOR THE TOP RAIL AND OPEN GUARDS SHALL COMPLY WITH CRC SECTION 1607.8.1 REQUIREMENTS: THE GUARDRAIL DESIGN SHALL SUPPORT A MINIMUM 200 POUND FORCE APPLIED HORIZONTALLY AT ANY POINT ALONG THE TOP RAIL AT 50 POUNDS APPLIED TO A VERTICAL AREA EQUAL TO 1 SQUARE FEET BETWEEN VERTICAL GUARD SUPPORTS.

- THRESHOLD & LANDINGS:**
THRESHOLD HEIGHTS ARE LIMITED AS FOLLOWS:
A. LANDINGS AT EXTERIOR DOOR SHALL BE NO LOWER THAN 1-1/2" DOWN FROM TOP OF THRESHOLD (PER CRC R311.3.1)
- EXCEPTION: IF THE DOOR IS NOT IN PATH OF EGRESS, LANDINGS MAY BE NO LOWER THAN 7 3/4"
- SKYLIGHTS:**
RESIDENTIAL SKYLIGHTS SHALL COMPLY WITH THE 2013 CRC R308.6 FOR MATERIALS AND GLAZING REQUIREMENTS; ALSO SHALL COMPLY WITH CRC R308.6.9. FOR TESTING DATA.
- FIRE SPRINKLERS:**
RESIDENTIAL FIRE SPRINKLER SYSTEMS ARE REQUIRED IN ALL NEW RESIDENTIAL CONSTRUCTION. (CRC SECTION R313.2)
- FIREPLACES:**
 - FIREPLACES MEET THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SECTION 150 MANDATORY FEATURES AND DEVICES OF 150 (E)JA - CLOSABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX.
 - USE WITH A VENTED GAS LOG APPROVED TO ANS Z21.60 OR Z21.64 STANDARDS OR FOR USE WITH A VENT-FREE GAS LOG HEATER APPROVED TO ANSI Z21.11.2 STANDARD.
- SHOWER DESIGN & ENCLOSURE REQ'TS:**
REFER TO PLUMBING SHEET NOTES AND INTERIOR DETAIL 1, SHOWER DESIGN ON A9.0 FOR REQ'TS.
- SEE A5.2 FOR ALL **MECHANICAL, PLUMBING & ELECTRICAL REQUIREMENTS**, INCLUDING SMOKE DETECTORS.

CAL GREEN MANDATORY MEASURES:
REFER TO CAL GREEN REQUIREMENTS ON SHEET T 2C OR T2D FOR ENERGY EFFICIENCY & WATER CONSERVATION STANDARDS SUCH AS PLUMBING FIXTURE FLOW RATES



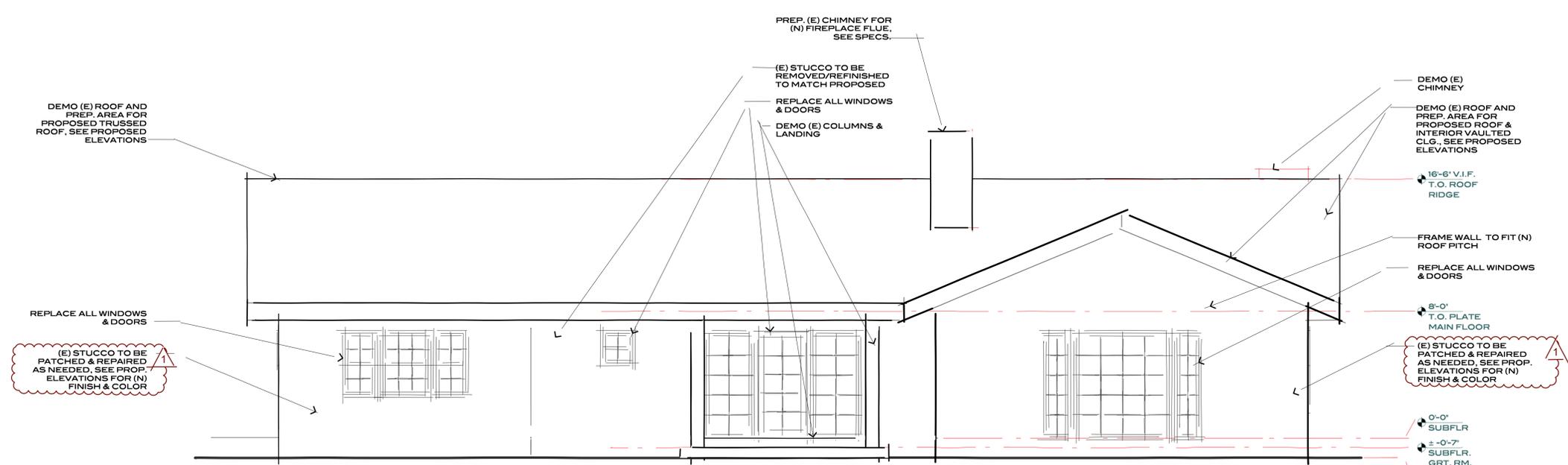
MAIN FLOOR PLAN

1/4" = 1'-0"

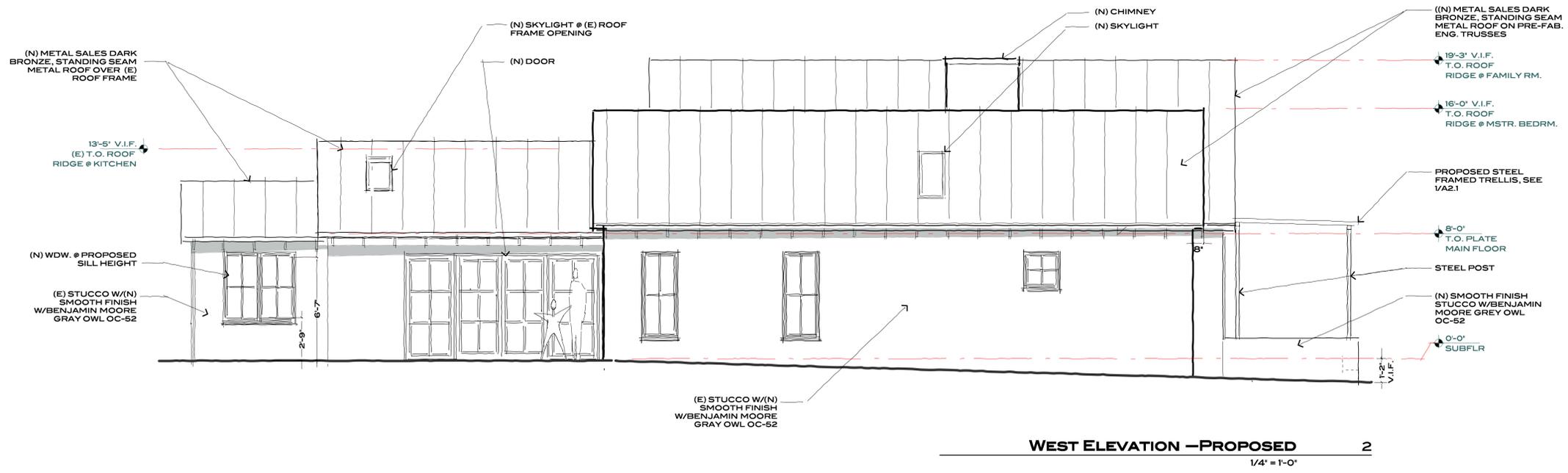




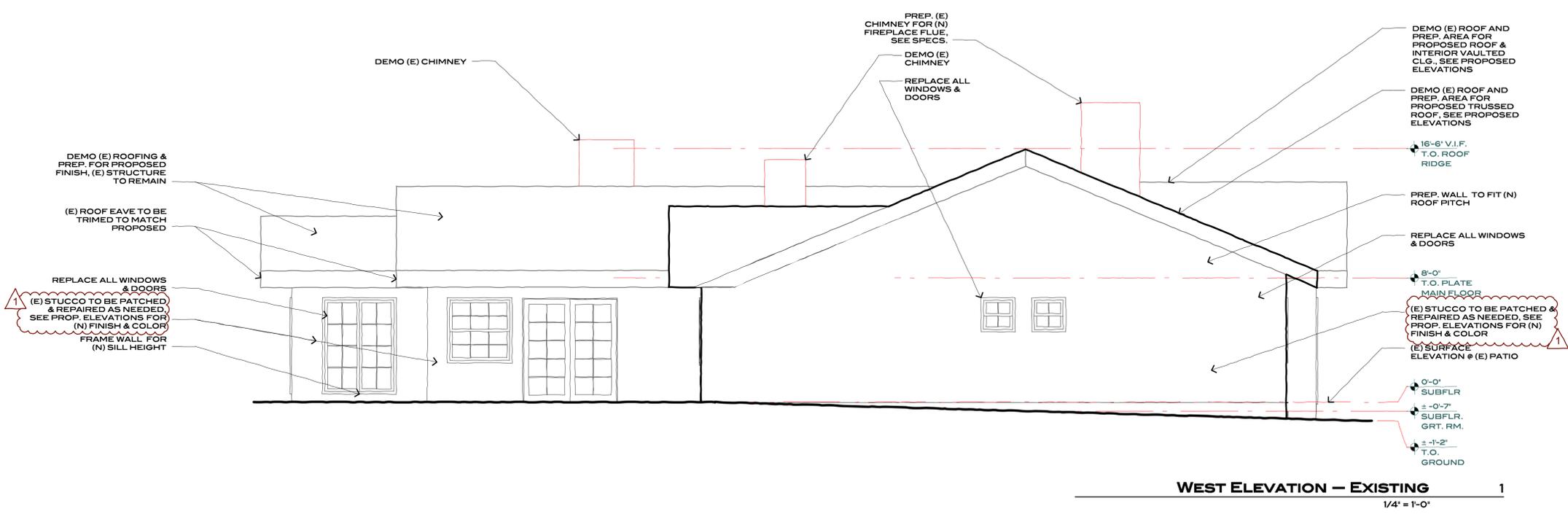
SOUTH ELEVATION – PROPOSED 2
1/4" = 1'-0"



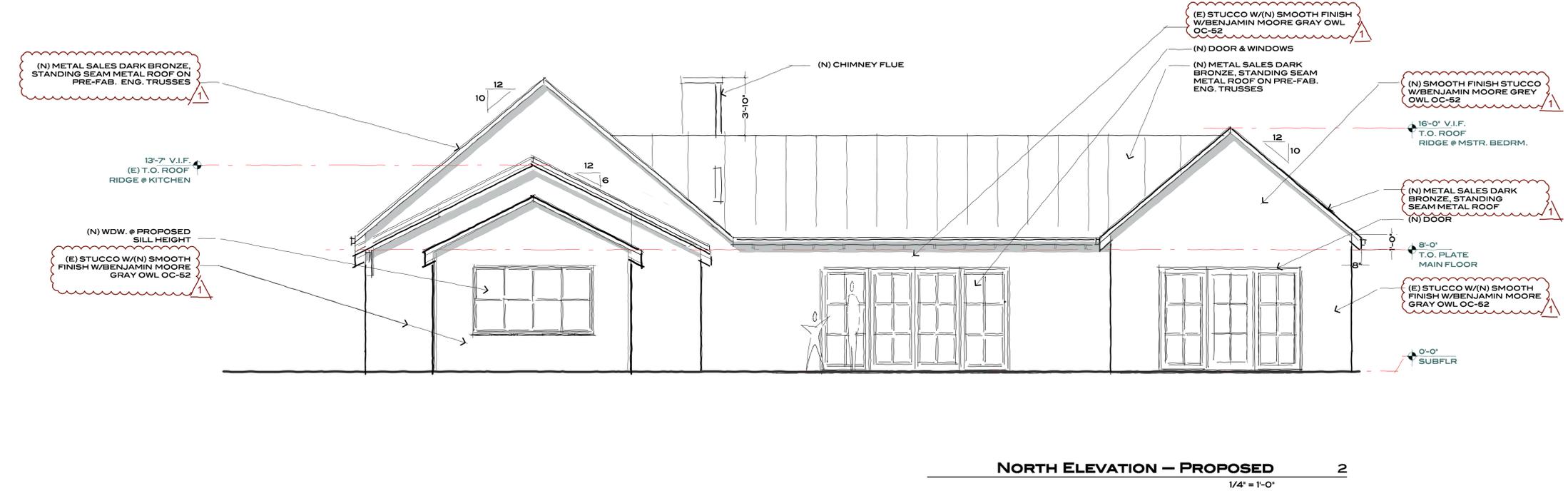
SOUTH ELEVATION – EXISTING 1
1/4" = 1'-0"



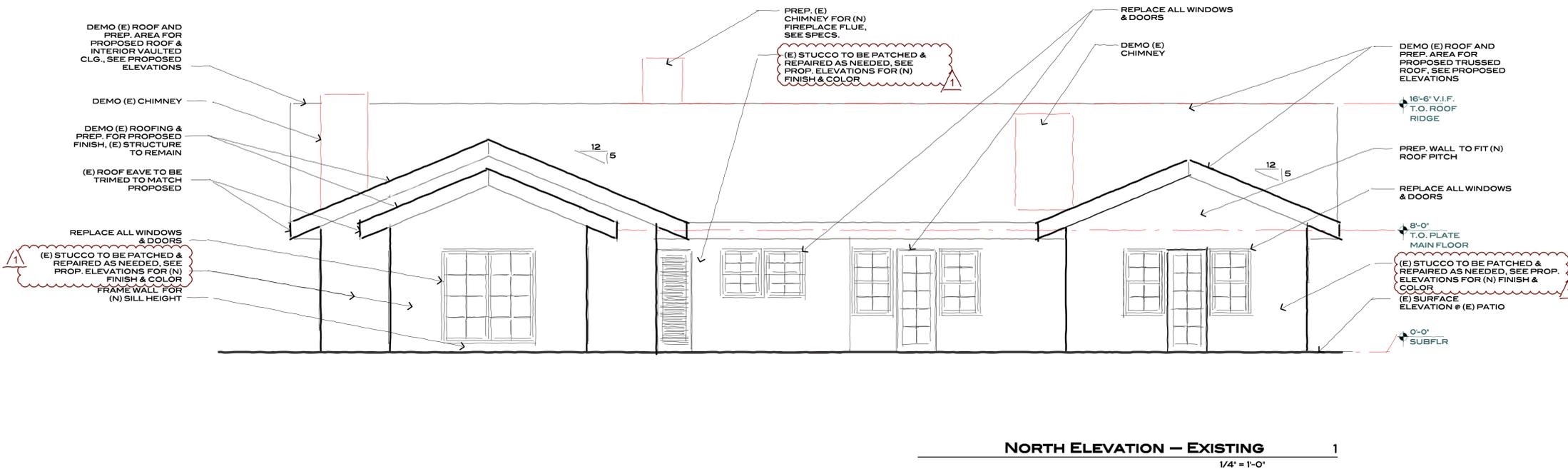
WEST ELEVATION - PROPOSED 2
1/4" = 1'-0"



WEST ELEVATION - EXISTING 1
1/4" = 1'-0"

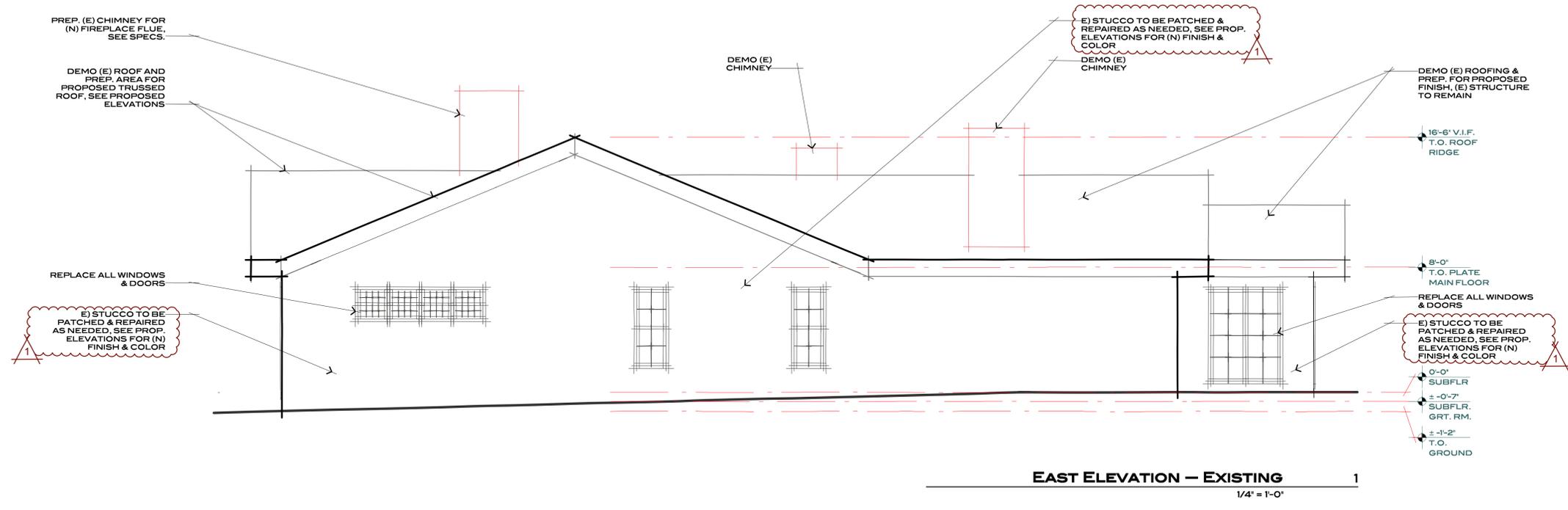
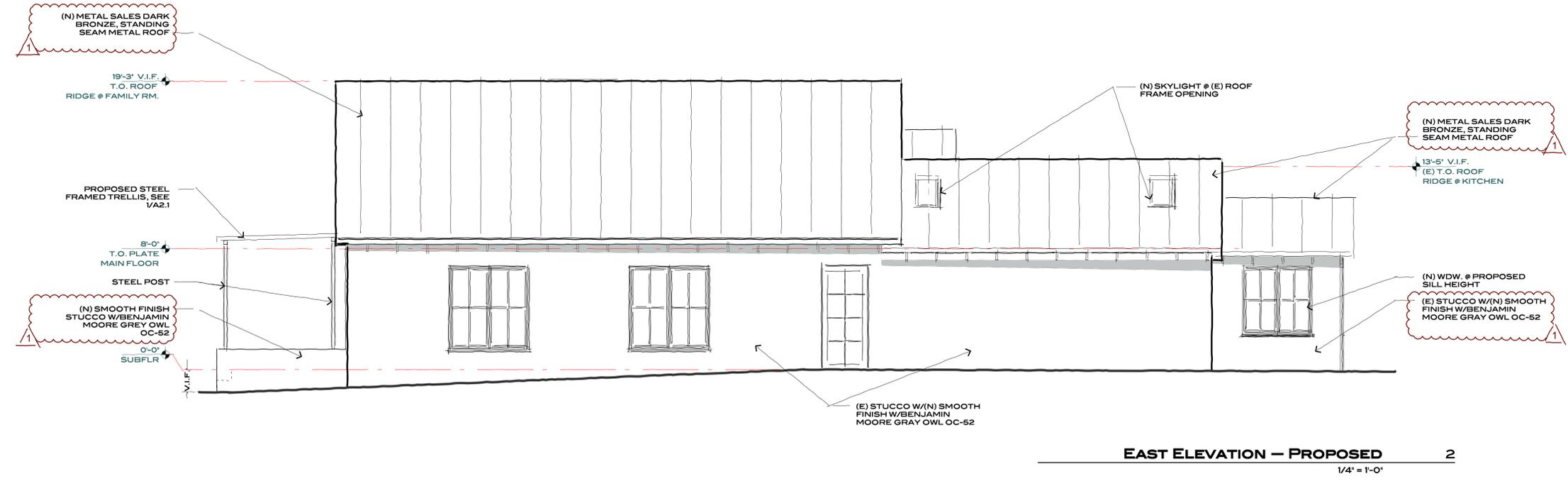


NORTH ELEVATION – PROPOSED 2
1/4" = 1'-0"



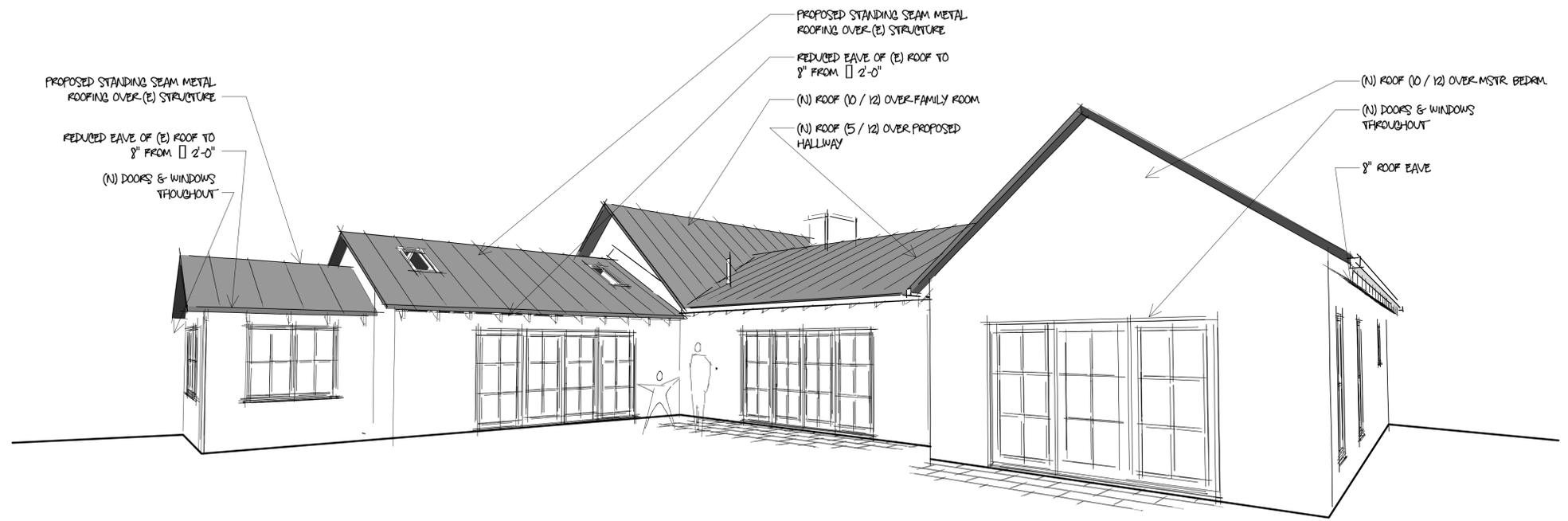
NORTH ELEVATION – EXISTING 1
1/4" = 1'-0"

| | |
|---------|--------------------|
| DATE: | ISSUE: |
| 8.31.16 | DESIGN REVIEW |
| 9.9.16 | DESIGN REVIEW REV. |

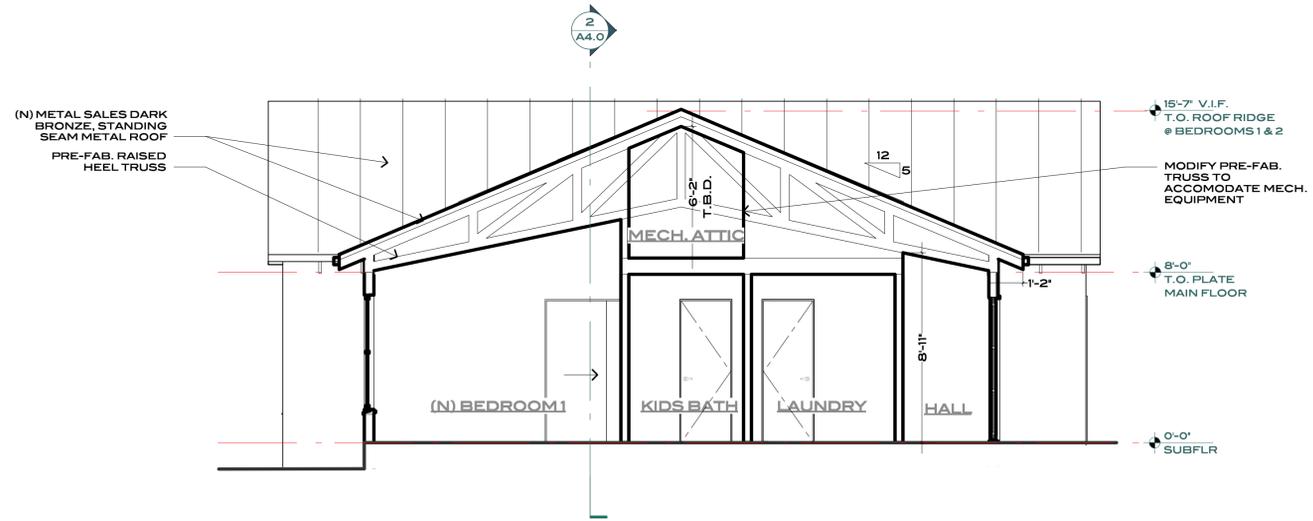




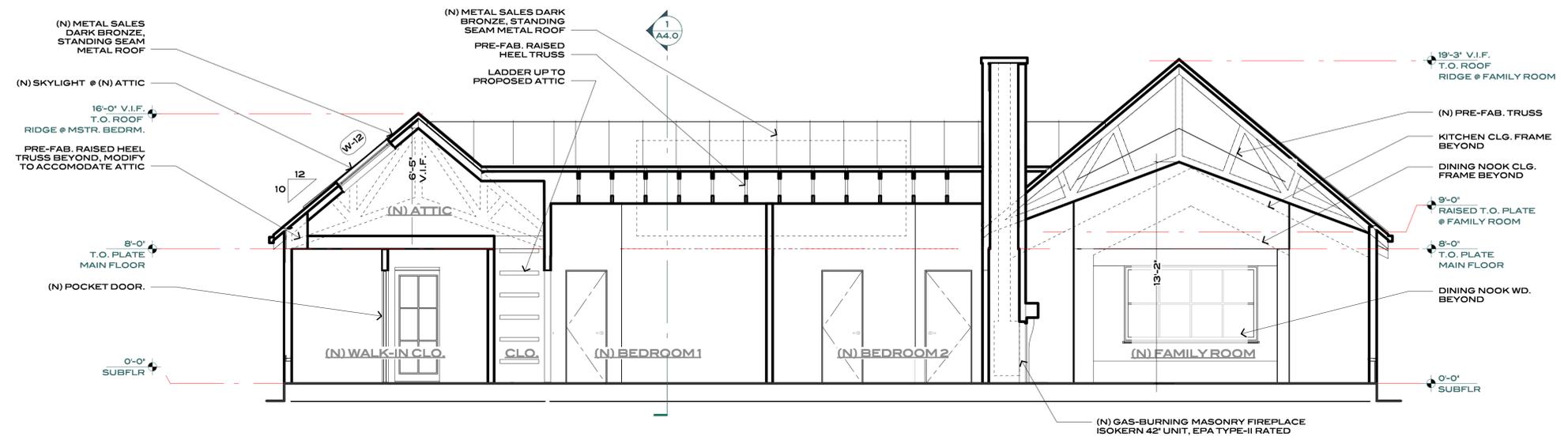
PROPOSED NORTH PERSPECTIVE 1
N.T.S.



PROPOSED SOUTH PERSPECTIVE 2
N.T.S.



PROPOSED BUILDING SECTION 1
1/4" = 1'-0"



PROPOSED BUILDING SECTION 2
1/4" = 1'-0"

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|----------|---------------|-------|--------|----------------------|------------------------------------|---------------------------------------|----------------|-------|
| ID PREFIX | ID LABEL | LOCATION | WIDTH | HEIGHT | SASH OPERATION | FRAME MATERIAL | MANUFACTURER | FRAME FINISH | NOTES |
| W- | 01 | FAMILY RM. | 5'4" | 5'6" | BI-PARTING CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 02 | FAMILY RM. | 5'4" | 5'6" | BI-PARTING CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 03 | BEDRM. 2 | 5'4" | 5'6" | BI-PARTING CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 04 | BEDRM. 1 | 5'4" | 5'6" | BI-PARTING CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 05 | MSTR. BATHRM. | 8'0" | 5'6" | CUSTOM | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 06 | MSTR. BATHRM. | 2'4" | 2'4" | CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 07 | MSTR. BEDRM. | 2'4" | 5'6" | CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 08 | MSTR. BEDRM. | 2'4" | 5'6" | CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 09 | DINING NOOK | 4'8" | 4'6" | BI-PARTING CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 10 | DINING NOOK | 8'0" | 4'6" | FIXED GLASS | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 11 | DINING NOOK | 4'8" | 4'6" | BI-PARTING CASEMENT | CLAD ON WD. FRAME ALT: STEEL FRAME | JELD WEN/SITELINE ALT: WESTERN WINDOW | BLACK ANODIZED | |
| W- | 12 | ATTIC | 11'0" | 3'1" | FIXED GLASS SKYLIGHT | CLAD ON WD. FRAME | VELUX/FS D06 | COPPER | |

| DOOR SCHEDULE | | | | | | | | | | | | |
|---------------|----------|---------------|--------------------|-------|--------|---------------|----------------------|-----------------------|-------------------------------------|------------------------------------|----------|-------------------|
| ID PREFIX | ID LABEL | LOCATION | INTERIOR/ EXTERIOR | WIDTH | HEIGHT | OPERATION | LEFT SIDELIGHT WIDTH | RIGHT SIDELIGHT WIDTH | MANUFACTURER | DOOR MATERIAL | TEMPERED | NOTES |
| D- | 01 | EXTERIOR | EXTERIOR | 10'0" | 8'0" | SWING SIMPLE | 3'0" | 3'0" | JELD WEN/CUSTOM | CLAD ON WD. FRAME ALT: STEEL FRAME | Y | |
| D- | 02 | HALL | EXTERIOR | 3'0" | 7'0" | SWING SIMPLE | 0" | 0" | JELD WEN/CLADPAT 10DOOR ATL:WESTERN | CLAD ON WD. FRAME ALT: STEEL FRAME | Y | |
| D- | 03 | HALL | EXTERIOR | 12'5" | 6'10" | SWING BI-PART | 3'1" | 3'1" | JELD WEN/CLADPAT 10DOOR ATL:WESTERN | CLAD ON WD. FRAME ALT: STEEL FRAME | Y | |
| D- | 04 | HALL | EXTERIOR | 12'5" | 6'10" | SWING BI-PART | 3'1" | 3'1" | JELD WEN/CLADPAT 10DOOR ATL:WESTERN | CLAD ON WD. FRAME ALT: STEEL FRAME | Y | |
| D- | 05 | MSTR. BEDRM. | EXTERIOR | 9'4" | 6'10" | SWING SIMPLE | 3'0" | 3'0" | JELD WEN/CLADPAT 10DOOR ATL:WESTERN | CLAD ON WD. FRAME ALT: STEEL FRAME | Y | |
| D- | 06 | ENTRY | INTERIOR | 3'6" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | CLAD ON WD. FRAME ALT: STEEL FRAME | Y | |
| D- | 07 | ENTRY | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 08 | HALL | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 09 | PWDR. RM. | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 10 | BEDRM. 2 | INTERIOR | 2'8" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 11 | BEDRM. 2 | INTERIOR | 5'0" | 6'8" | SLIDER | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 12 | KIDS BATHRM. | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 13 | KIDS BATHRM. | INTERIOR | 2'2" | 6'8" | POCKET SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 14 | KIDS BATHRM. | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 15 | KIDS BATHRM. | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 16 | LAUNDRY RM. | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 17 | BEDRM. 1 | INTERIOR | 6'0" | 6'8" | SLIDER | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 18 | BEDRM. 1 | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 19 | MSTR. BEDRM. | INTERIOR | 2'8" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 20 | WALK-IN CLO. | INTERIOR | 3'0" | 6'9" | OPENING | 0" | 0" | T.B.D. | SOLID WD. CORE | N | BI-PART BARN DOOR |
| D- | 21 | WALK-IN CLO. | INTERIOR | 2'8" | 6'8" | POCKET SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 22 | MSTR. BATHRM. | INTERIOR | 3'0" | 6'8" | POCKET SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 23 | MSTR. BATHRM. | INTERIOR | 2'4" | 6'8" | SWING SIMPLE | 0" | 0" | T.B.D. | SOLID WD. CORE | N | |
| D- | 24 | MSTR. BATHRM. | INTERIOR | 2'2" | 6'9" | OPENING | 0" | 0" | T.B.D. | GLASS | Y | FRAMELESS SHOWER |

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