

**CITY OF ST. HELENA  
PLANNING DEPARTMENT 1480 MAIN STREET- ST. HELENA, CA 94574  
PLANNING COMMISSION**

**AUGUST 16, 2016**

**AGENDA ITEM:** 7

**FILE NUMBER:** PL16-009

**SUBJECT:** Request by Claudia Beck for Demolition Permit and Design Review approval to remodel and enlarge the existing single-family residence located at 1530 Allyn Avenue in the MR: Medium Density Residential district.

**PREPARED BY:** Aaron Hecock, Senior Planner

**REVIEWED BY:** Noah Housh, Planning Director

**APPLICATION FILED:** 02/19/16

**ACCEPTED AS COMPLETE:** 07/21/16

**LOCATION OF PROPERTY:** 1530 Allyn Avenue

**APN:** 009-305-009

**GENERAL PLAN/ZONING:** MR: Medium Density Residential

**APPLICANT:** Claudia Beck

**PHONE:** (707) 695-0005

**PROJECT DESCRIPTION**

The existing 11,313-sf parcel is currently developed with a 2,132-sf, 3 bedroom, 2 ½ bathroom, two-story, single-family residence with a 540-sf detached two-car garage with a 548-sf second unit above it (3,220-sf total). The applicant is seeking design review approval to remodel and enlarge the existing home by approximately 519-sf (292-sf on the first floor and 227-sf on the second floor) in order to reconfigure the living space. Numerous interior walls, the back covered porch and several bay windows will be removed in order to accommodate the interior remodel and additions. The additions include a small room towards the front of the house on the first floor and an addition to the rear of the home on both floors. The height of the existing home will remain unchanged at approximately 28 feet. The remodeled home would be finished with horizontal wood siding and a standing seam metal roof.

No new bedrooms or bathrooms are being proposed and no changes are proposed to the existing garage and second unit.

## **ANALYSIS**

### **CEQA**

The project is exempt from the requirements of CEQA pursuant to Section 15301, which exempts demolition of existing structures, minor alterations and additions to existing private structures and Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.

### **GENERAL PLAN/ZONING**

The property has a General Plan and Zoning designation of Medium Density Residential (MR). This district provides for single-family detached homes, accessory dwelling units and other compatible uses. The remodeling or reconstruction of one single-family home is a permitted uses in the MR district. As far as the Floor Area Ratio (F.A.R.) is concerned, an 11,313-sf parcel has a maximum F.A.R. of .298 for a maximum square footage of 3,371-sf (before applicable F.A.R. exemptions). As detailed below, the proposed project consists of 3,139-sf for the purposes of F.A.R., which is 232-sf below the maximum allowed by code for a F.A.R. of .277.

#### **EXISTING FLOOR AREA:**

RESIDENCE – 1 <sup>st</sup> Floor	1080 SF
RESIDENCE – 2 <sup>nd</sup> Floor	1052 SF
GARAGE	540 SF
SECOND UNIT	548 SF

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**SUB-TOTAL 3,220 SF**

#### **PROPOSED ADDITIONAL FLOOR AREA:**

RESIDENCE – 1 <sup>st</sup> Floor	292 SF
RESIDENCE – 2 <sup>nd</sup> Floor	227 SF

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**SUB-TOTAL 3,739 SF**

COVERED PARKING EXEMPTION	-200 SF
SECOND UNIT EXEMPTION	-400 SF

**TOTAL NET FLOOR AREA: 3,139 SF**

**FLOOR AREA RATIO: 3,139 / 11,313 = .277**

The existing home is currently 28' in height and this wouldn't change as part of the proposed project. Municipal Code Section 17.40.060(D) requires a side yard setback of 15 feet for structures with a maximum height greater than 25 feet. As the current side yard setbacks are approximately 10 feet on one side and 13 feet on the other, the home is considered legal non-conforming. Municipal Code Section 17.140.030(B) states the following:

*“A nonconforming building, structure or other physical feature shall not be reconstructed, except as provided for in subsection D of this section, expanded, or enlarged unless the new work will be in conformance with*

*the regulations and standards of the zoning district in which it is located and the provisions of the zoning ordinance.”*

Furthermore, Municipal Code Section 17.140.030(C) states:

*“A nonconforming building, structure or physical feature may be remodeled, rehabilitated, or structurally altered if the new work does not increase the degree of nonconformity.”*

As such, the proposed additions are required to be setback 15 feet from the property line. The project would not add any square footage into required setbacks and would therefore not increase the degree of non-conformity. The project as proposed is below the maximum gross floor area permitted and meets all other requirements of the HR zone including lot size, building size, setbacks, height, etc.

## **HISTORIC RESOURCES**

The existing home was constructed in the late 1980s and is not listed on the City's Master Historic Resources List.

## **WATER**

The proposed project is required to comply with the City's Water Neutrality Policy. The existing residence is being remodeled and updated which will make it more efficient than what currently exists. As no new bedrooms or bathrooms are being proposed, a water neutrality analysis is not required.

## **DEMOLITION PERMIT**

As provided in Municipal Code Section 17.164.050(E), no permit authorizing the demolition of any building within any zoning district shall be issued until approved by the Planning Commission in accordance with the following findings:

1. That, based on the public record and testimony presented at a public hearing, the building is determined not to be a significant architectural or historical building.
2. That the demolition does not eliminate elements that are required to maintain the essential character of the neighborhood.

*The existing home was constructed in around 1989 and is not listed on the City of St. Helena's historical resources inventory. While the existing home is in good condition, the building is not historically significant. Demolition of portions of this residence would not impact a historical resource or otherwise negatively affect the character of the neighborhood.*

## **DESIGN REVIEW**

The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. The following design criteria should be considered by the Planning Commission in review of this application (Zoning Ordinance Section 17.164.030):

1. Consistency and compatibility with applicable elements of the general plan;
2. Compatibility of design with the immediate environment of the site;
3. Relationship of the design to the site;

4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;
5. Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;
6. Compatibility with future construction both on and off the site;
7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;
8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;
9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;
10. Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;
11. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;
12. Whether natural features are appropriately preserved and integrated with the project;
13. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;
14. In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;
15. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;
16. Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;
17. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

*Staff believes that the proposed project is consistent with the required design review findings listed above.*

### **CORRESPONDENCE**

As of the completion of this report staff had received no letters in support or opposition to this application.

### **STAFF RECOMMENDATION**

Staff finds that the proposed configuration of the site, the overall design elements and proposed materials/finishes are in character with the neighborhood and the community in general. Because of this staff concludes that design review findings can be made and recommends that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA, pursuant to Section 15301, which exempts demolition of existing structures, minor alterations and additions to existing private structures and Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.
2. Accept the required findings and grant demolition permit and design review approval for the proposed remodel and expansion for the residence located at 1530 Allyn Avenue.

### **ATTACHMENTS**

1. Resolution / Conditions of Approval
2. APN Map
3. Aerial Photo
4. Project Plans and Photos

**DESIGN REVIEW NO. PL16-009  
CITY OF ST. HELENA, STATE OF CALIFORNIA  
GRANTED TO 1530 ALLYN AVENUE**

**PROPERTY OWNER:** Corey & Claudia Beck

**APN:** 009-305-009

**Recitals**

1. Request by Claudia Beck for Demolition Permit and Design Review approval to remodel and enlarge the existing single-family residence located at 1530 Allyn Avenue in the MR: Medium Density Residential district.
2. The Planning Commission of the City of St. Helena, State of California, held a duly noticed public hearing on August 16, 2016.

**Resolution**

- A. The Planning Commission hereby finds that the project is exempt from CEQA pursuant to Section 15301, which exempts demolition of existing structures, minor alterations and additions to existing private structures and Section 15303, which exempts the construction or conversion of small structures including single-family residences, garages, pools, etc.
- B. Pursuant to Municipal Code Section 17.164.050(E), the Planning Commission hereby finds that:
  1. That, based on the public record and testimony presented at a public hearing, the building is determined not to be a significant architectural or historical building; and
  2. That the demolition does not eliminate elements that are required to maintain the essential character of the neighborhood.
- C. The Planning Commission determines the project is in compliance with the following Design Review criteria of Municipal Code Section 17.164.030:
  1. *Consistency and compatibility with applicable elements of the general plan;*
  2. *Compatibility of design with the immediate environment of the site;*
  3. *Relationship of the design to the site;*
  4. *Determination that the design is compatible in areas considered by the board as having a unified design or historical character;*
  5. *Whether the design promotes harmonious transition in scale and character in areas between different designated land use;*
  6. *Compatibility with future construction both on and off the site;*
  7. *Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;*
  8. *Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;*

9. *Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;*
10. *Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;*
11. *Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;*
12. *Whether natural features are appropriately preserved and integrated with the project;*
13. *Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;*
14. *In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;*
15. *Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;*
16. *Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;*
17. *Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.*

### **Planning Department Conditions of Approval**

- D. The Planning Commission approves a demolition permit and design review for the above-described project with the following conditions of approval. The project shall be in conformance with all city ordinances, rules, regulations and policies in effect at the time of issuance of a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.
1. The design review shall be vested within one (1) year from the date of final action. A building permit for the use allowed under this approval shall have been obtained within one (1) year from the effective date of this action or the approval shall expire, provided however that the approval may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals. Any request for an extension of this approval shall be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
  2. The approvals shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14-day period.
  3. All required fees, including planning fees, development impact fees, residential in-lieu housing fees, building fees, toilet retrofit fees, and St. Helena Unified School District

fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.

4. In any action or proceeding to attack, challenge, invalidate, set aside, void or annul the City's approval of applicant's Project, in whole or in part, applicant shall defend, at its own expense and without any cost to the City, and with counsel acceptable to the City, and shall fully and completely indemnify and hold the City, its agents, officers, and employees harmless from and against any and all claims, causes of action, damages, costs, attorney's fees and liability of any kind, so long as the City reasonably promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
5. Provided they are in general compliance with this approval, minor modifications may be approved by the Planning Director.
6. Pursuant to St. Helena Municipal Code Section 17.08.110, this permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
7. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The property owners or their designee shall be responsible for meeting with the Building Official, Fire Inspector and or Public Works Department to review compliance with Building Codes, Fire Codes and specific Public Works Standards including fire protection systems and any applicable accessibility standards of Title 24.
8. Construction shall be in compliance with plans submitted and reviewed by the Planning Commission on August 16, 2015, except as modified herein.
9. Exterior lighting shall be directed or shielded to prevent glare onto the public roadway or adjacent properties.
10. To reduce disturbance of residents in the project vicinity, construction activities which generate noise that can be heard at the property line of any parcel of real property within the City limits shall be limited to 8:00 a.m. to 5:00 p.m. Monday through Saturday. Delivery of materials/equipment and cleaning and servicing of machines/equipment shall be limited to 7:00 a.m. to 6:00 p.m. Exceptions to these time restrictions may be granted by the Public Works Director for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and give approval in advance of such work. No construction activities shall occur on Sundays or federal or local holidays that generate noise that can be heard at the property line of any parcel of real property within the City limits.

#### **Public Works Department Conditions of Approval**

11. Approval of this project shall be subject to the requirements of, and all improvements shall be designed and constructed in accordance with, the most

current version at the time of improvement plan submittal, Caltrans Standards and Specifications, the City of St. Helena Municipal Code, the St. Helena Water and Sewer Standards, the St. Helena Street, Storm Drain and Sidewalk Standards, and all current federal, state and county codes governing such improvements.

12. For any improvements outside the existing building envelope, a grading and drainage plan showing topographic data, all easements, infrastructure onsite and directly adjoining, and an erosion control plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit. If the project entails more than 50 cubic yards of soil disturbance, 10,000 square feet of disturbance area, a cut or fill of 3 feet or more, or alteration of any drainage pattern, a grading permit shall be required.
13. No added drainage from the new hardscape, roofs, decks, pools or roof improvements shall be allowed to leave the site. The grading and/or site improvement plans shall provide a method to address how drainage will be treated, detained, diverted and infiltrated on site and at the property lines to prevent inundation of neighboring properties.
14. Erosion and sediment control plans shall conform to the latest State and City codes at a minimum.
15. Site plan shall show location of any trees within the project area.
16. The applicant shall install an approved backflow device behind the existing water meter prior to Certificate of Occupancy. Any new and modified existing water laterals, meters and backflow prevention devices shall be required and constructed in accordance with the current requirements of the City of St. Helena's Water Standards and the California Department of Health Standards. Existing meter boxes located within a driveway shall be retrofitted with a traffic-rated box. New laterals shall be located perpendicular to the water main and outside any driveway/drive aisle.
17. Remodels or new construction which require fire sprinklers shall install an appropriately-sized water service with appropriate backflow and meter devices prior to Certificate of Occupancy. Fire system calculations shall be submitted with the Grading and Drainage Plan to verify fire service lateral and meter sizing. Deferred submittals are not accepted.
18. The applicant shall conform to the City of St. Helena Water and Sewer Standards Section 6-2.10 which includes assessing the adequacy of the lateral, replacing if necessary and installing any needed cleanouts prior to Certificate of Occupancy.
19. The driveway approach shall be per current City and ADA standards. Where a deteriorating or a non-standard driveway exists, one shall be installed or replaced at the direction of the Public Works Department prior to Certificate of Occupancy.

20. The applicant shall repair all public improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to Certificate of Occupancy.
21. Existing streets being cut by new utility services will require edge grinding and an A.C. overlay per City standards, extent to be determined by the Public Works Department.
22. An encroachment permit shall be required for any work performed in the public right of way.

### **Building Department Conditions of Approval**

23. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2013 Title 24 codes.
24. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
25. The applicant shall provide a construction waste management plan with the building permit application.
26. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
27. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
28. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.

**I HEREBY CERTIFY** that the foregoing design review was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on August 16, 2016 by the following roll call vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

APPROVED:

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Grace Kistner  
Chair, Planning Commission

ATTEST:

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Noah Housh  
Planning Director



1.	R=19.50'	L=16.26'
2.	R=350'	L=29.93'
3.	N23°53'E	L=42.85±
4.	N60°34'W	L=21.73'
5.	S29°28'W	L=4.21'
6.	R=20'	L=16.30'
7.	N29°20'15"E	L=14.24'
8.	S53°22'39"E	L=60.49'
9.	N29°20'15"E	L=6.57'
10.	N29°20'15"E	L=31.02'
11.	N53°22'39'W	L=1.64'
12.	R=20'	L=25.15'

305-44	REMOVE SFAP	8-30-96
305-39	RS	12-14-97
305-16	RS	12-4-02
304-14 & 15	PM	8-24-09
305-53,54,55	LLA	6-10-14
305-53,54,55	RS	10-8-14
REVISION		DATE

NOTE: This Map Was Prepared For Assessment Purposes Only , No Liability Is Assumed For The Accuracy Of The Data Delineated Hereon.

HASTIE'S ADDN., R.M. BK. 1, PG. 82  
 THE WADE TRACT, R.M. BK. 1 PG. 105  
 THE KIRKPATRICK SUBD., R.M. BK. 18. PG. 43

CITY OF ST. HELENA  
 Assessor's Map Bk. 9 -Pg.30  
 County of Napa, Calif.

1954-60-61



1530 Allyn Ave

Allyn Ave

STOP

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Google earth

1993

38°30'06.75" N 122°28'33.44" W elev 304 ft eye alt 591 ft

## GENERAL NOTES

- The work included under this contract consist of all labor materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use.
- All construction shall conform to the 2013 California Building Code, 2013 California Mechanical, Electrical, and Plumbing Codes, 2013 California Residential Code, 2013 California Energy Code, 2013 California Green Building Standards Code, Title 24 Fire Safe Standards and any other local governing codes and ordinances. In the event of conflict, the most stringent requirements shall apply.
- The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of the drawing is included regardless of whether shown on the drawings or mentioned in the notes. All work is new, U.O.N.
- Any errors, omissions or conflicts found in the various parts of the construction documents shall be brought to the attention of the Architect and the Owner for clarification before proceeding with the work.
- The General Contractor shall maintain a current and complete set of the construction documents on the job site during all phases of construction for use of all the trades and shall provide all the subcontractors with current construction documents as required.
- The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such examination.
- Written dimensions take precedence. Do not scale drawings.
- All dimensions to and from new construction when shown in plan are to face of stud, face of masonry, centerline, unless otherwise noted.
- All dimensions on reflected ceiling or electrical plans are from face of finish or center line of column to center line of fixture or group of fixtures.
- All vertical dimensions are to face of finish, finish floor, unless otherwise noted.
- All dimensions noted "Verify" and "V.I.F." are to be checked by contractor prior to construction. Immediately report any variances to the architect for resolution.
- Interior walls are 2x4 or 2x6 wood studs @ 16" o.c. unless otherwise noted and all exterior wall are 2x6 wood studs @ 16" o.c. unless otherwise noted.
- Contractor shall provide all seismic bracing and hold-down clips as required by Code for all suspended ceiling and soffit framing conditions.
- Coordinate all work with existing conditions, including but not limited to: irrigation pipes, electrical conduit, water lines, gas lines, drainage lines, etc.
- Provide adequate temporary support as necessary to assure the structural value or integrity of the building.
- Protect all existing building and site conditions to remain including walls, cabinets, finishes, trees and shrubs, paving, etc.
- Details shown are typical. Similar details apply in similar conditions.
- Verify all architectural details with structural, and design/build drawings before ordering or installation of any work.
- Where locations of windows and doors are not dimensioned, they shall be centered in the wall or placed two stud widths from adjacent wall as indicated on the drawings.
- All required exits shall be operable from inside, without the use of key or special knowledge.
- All changes in floor materials occur at centerline of door or framed opening unless otherwise indicated on the drawings.
- Install all fixtures, equipment and materials per manufacturer's recommendations.
- Verify clearances for flues, vents, chases, soffits, fixtures, etc. before any construction, ordering of, or installation of any items of work.
- Sealant, caulking and flashing, etc. locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.
- All roof deck penetrations and exterior wall openings shall be guaranteed by the contractor to be water tight for a minimum period of one year after substantial completion of all work under this contract.
- The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise a strict control over job cleaning to prevent any direct debris or dust from affecting, in any way, finished areas in or outside job site.
- Contractor shall leave premises and all affected areas clean and orderly, ready for occupancy. This includes cleaning of all glass (inside and outside) and frames, both new and existing.
- Install smoke detectors in accordance with the specifications and in conformance with local Fire Marshal requirements.
- All exterior doors and windows are to be weather stripped per Title 24 requirements, unless otherwise noted in door details.
- Glass subject to human impact shall be of safety glazing material to meet State and Federal requirements.
- Any survey monuments within the area of construction shall be preserved or reset by a registered civil engineer or a licensed land surveyor.
- Provide shop drawings for all millwork, metal work and custom items.
- Contractor is responsible for reviewing and complying with requirements of Soil Report as prepared by geotechnical Engineer.

## SYMBOLS

	INTERIOR ELEVATION NUMBERS SHEET NUMBER		WINDOW SYMBOL
	SECTION/ ELEVATION NUMBER SHEET NUMBER		DOOR SYMBOL
	DETAIL NUMBER SHEET NUMBER		GRID LINE
	ENLARGED DETAIL NUMBER SHEET NUMBER		ROOM NAME ROOM NUMBER
	REVISION		FLOOR ELEVATION OR DIMENSION POINT

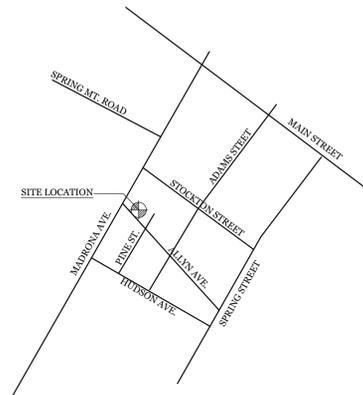
# BECK RESIDENCE

1530 Allyn Avenue, Saint Helena

## VICINITY MAP

### Project Information:

Beck Residence  
Main Residence  
1530 Allyn Avenue  
St. Helena, California 94574  
APN #: 009-305-009



## PROJECT STATISTICS

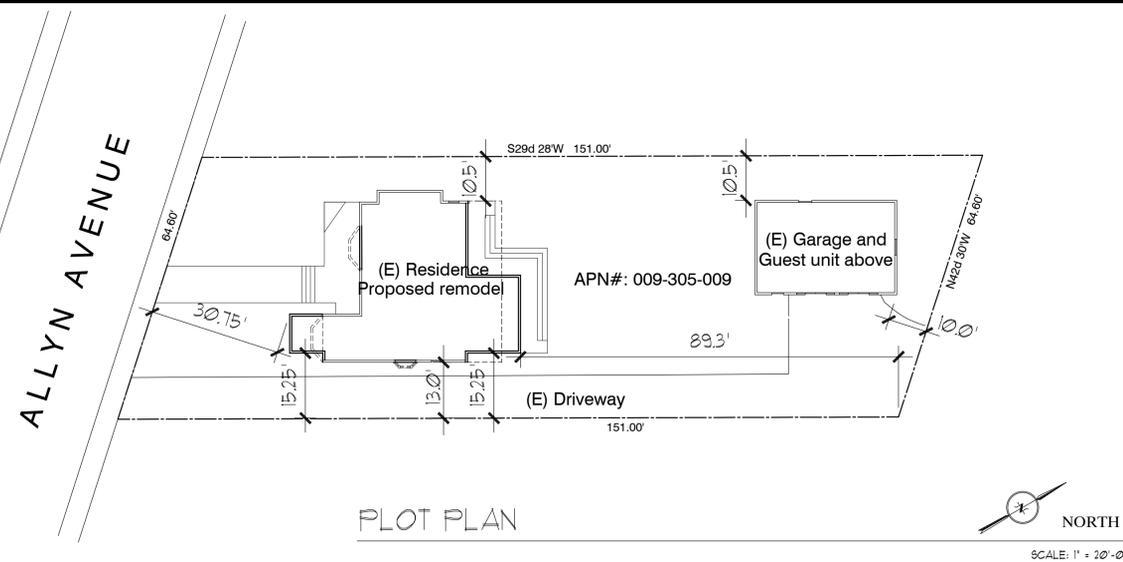
<b>PROJECT NAME:</b> BECK RESIDENCE	<b>APN:</b> 009-305-009
<b>PROJECT ADDRESS:</b> 1530 ALLYN AVENUE SAINT HELENA, CA 94574	<b>LOT AREA:</b> 0.25 ACRES ( 11,313 S.F.)
<b>ZONING:</b> MR	<b>CONSTRUCTION TYPE:</b> VB
<b>OCCUPANCY:</b> R-3	<b>YES</b>
<b>BUILDING HEIGHT:</b> MAX ALLOWABLE: 30'-0"	<b>NO. OF STORIES:</b> 2 STORY
<b>PROJECT DESCRIPTION:</b> Existing residence remodel and addition. Enlarging dining room and 3 bedrooms, replacing exterior siding and roofing. New pool construction.	
- NO proposed change in current number of bedrooms and bathrooms - NO increase in impervious surfaces over 2500sq.f.	
<b>BUILDING AREA:</b>	
EXISTING FIRST FLOOR:	1,080.5 S.F.
EXISTING SECOND FLOOR:	1,052.5 S.F.
EXISTING DETACHED GARAGE:	534.9 S.F.
TOTAL:	2,667.9 S.F.
EXISTING GUEST UNIT ABOVE GARAGE:	541.9 S.F.
*SQUARE FOOTAGES FROM EXTERIOR BUILDING PERIMETER	
<b>BUILDING AREA CALCULATION:</b>	
PARCEL AREA:	11,313 S.F.
F.A.R.:	0.248
MAX. GROSS FLOOR AREA:	3,371 S.F.
PROPOSED ADDITION:	524 S.F.
NEW TOTAL:	3,201.9 S.F.
<b>APPLICABLE CODES:</b>	
2013 California Building Code (CBC)	
2013 California Electrical Code (CEC)	
2013 California Mechanical Code (CMC)	
2013 California Plumbing Code (CPC)	
2013 California Fire Code	
2013 California Residential Code	
2013 California Energy Code	
2013 California Green Building Standards Code	
Town of Saint Helena General Plan, Zoning, Site Development and Subdivision Ordinances	
Note: These drawings are to conform to the requirements of the code editions cited above. Any work performed in association with these drawings must also comply with these code editions.	

## PROJECT DIRECTORY

**OWNER:**  
MR. & MRS. BECK  
1530 ALLYN AVE.  
ST. HELENA, CA 94574

**ARCHITECT:**  
SASHA JANEV  
1432 MAIN STREET  
ST. HELENA CA 94574  
TEL: (707) 968-5265

## PLOT PLAN



## DRAWING INDEX

<b>General</b>	
<input checked="" type="checkbox"/> A0.0	COVER SHEET
<b>Architectural Drawings</b>	
<input checked="" type="checkbox"/> A1.0	SITE PLAN / GRADING PLAN
<input checked="" type="checkbox"/> A1.1	LANDSCAPE PLAN
<input checked="" type="checkbox"/> A2.1	AS-BUILT / DEMOLITION PLANS
<input checked="" type="checkbox"/> A2.2	FIRST FLOOR PLAN
<input checked="" type="checkbox"/> A2.3	SECOND FLOOR PLAN
<input checked="" type="checkbox"/> A2.4	ROOF PLAN
<input checked="" type="checkbox"/> A3.1	EXTERIOR ELEVATIONS
<input checked="" type="checkbox"/> A3.2	EXTERIOR ELEVATIONS

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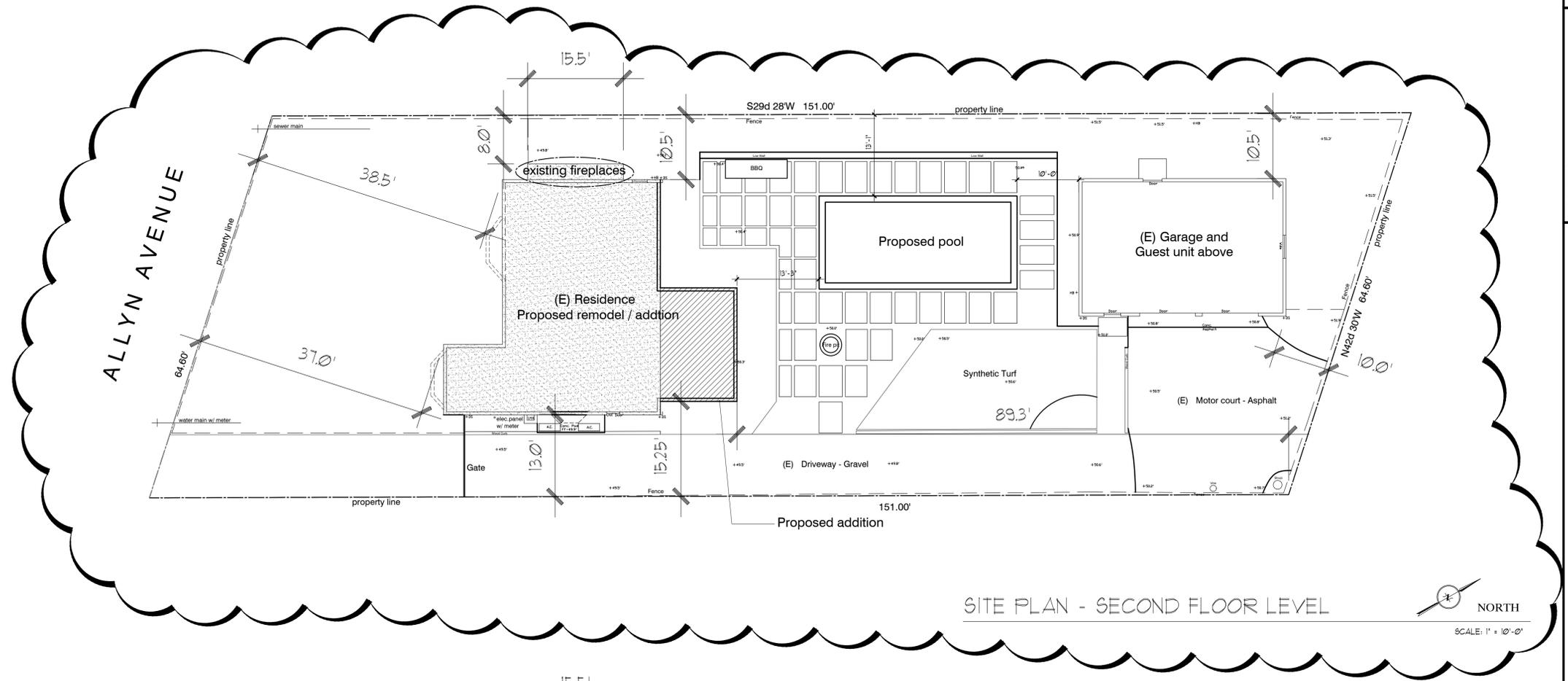
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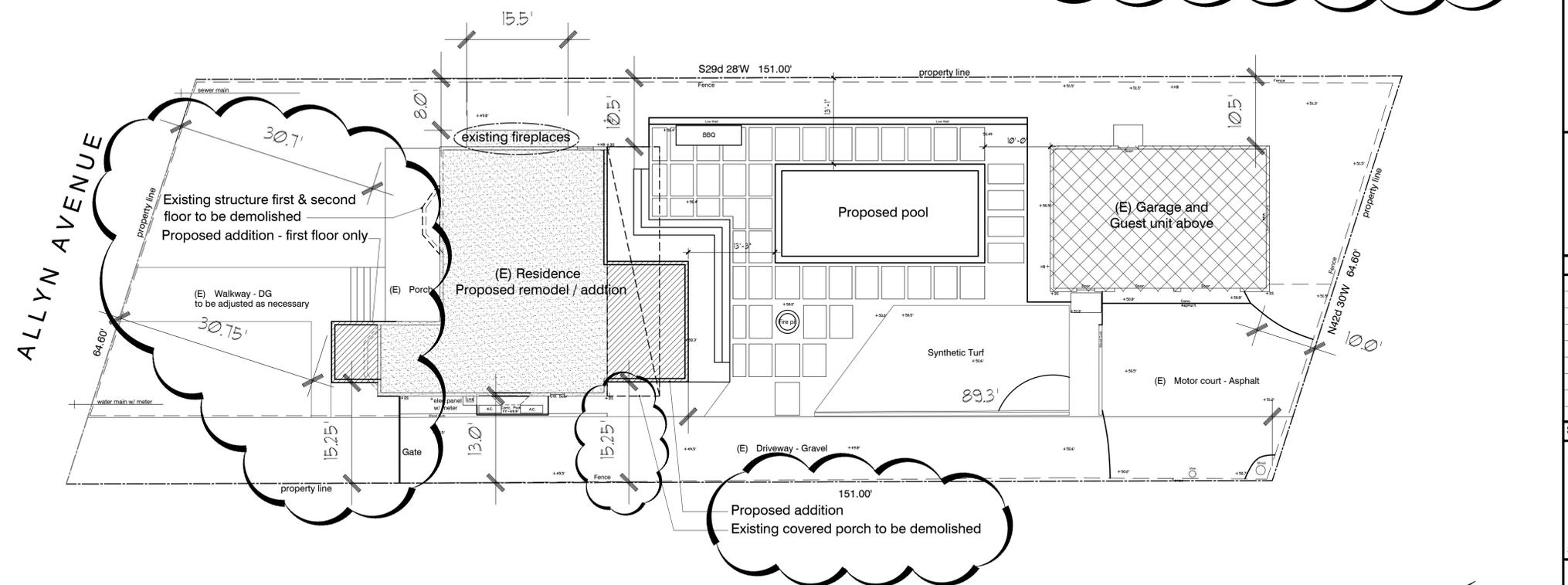
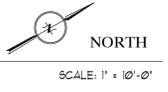
TITLE

SCALE: PER PLAN

**A0.0**



SITE PLAN - SECOND FLOOR LEVEL



SITE PLAN - FIRST FLOOR LEVEL



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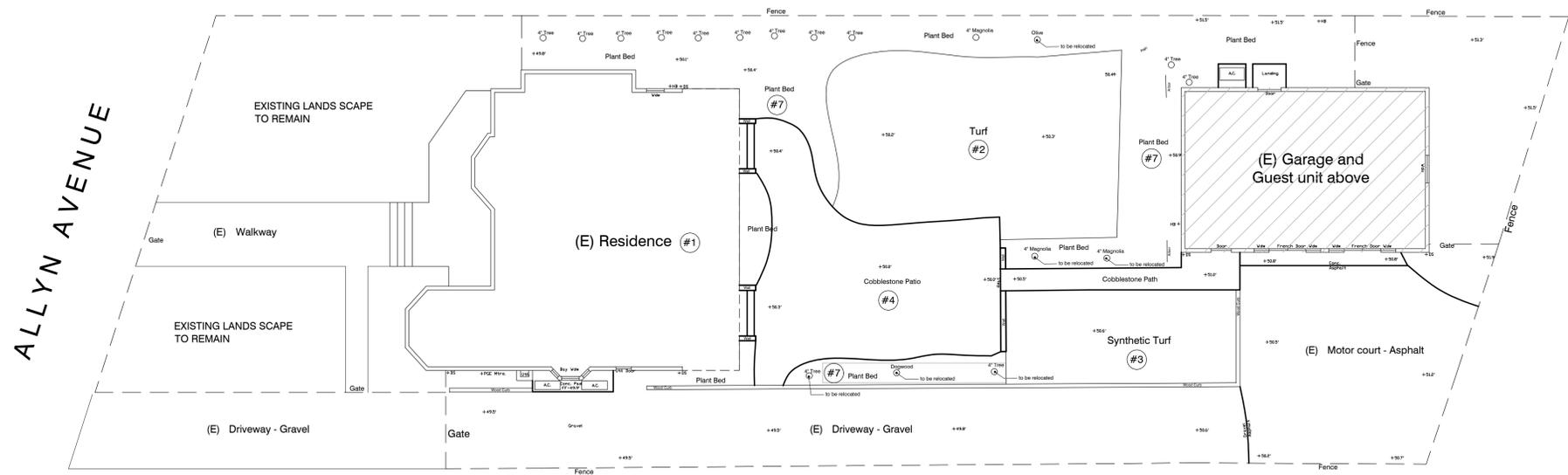
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SHEET DESCRIPTION  
**SITE PLAN**

SCALE: PER PLAN

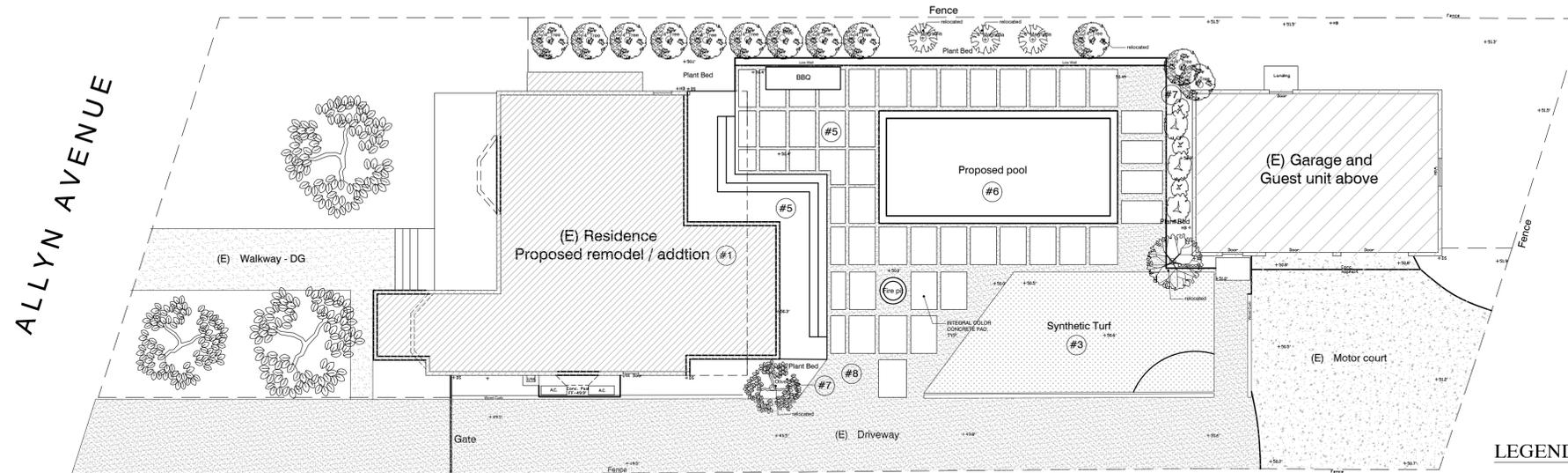
**A1.0**



EXISTING VEGETATION MAP

SCALE: 1" = 10'-0"

EXTERIOR SURFACES TABLE			
#	SURFACE	EXISTING AREA ( SQ. FT. )	PROPOSED AREA ( SQ. FT. )
1	Roof	1,840	2,022
2	Lawn	900	0
3	Synthetic turf	385	530
4	Stone pavers	895	0
5	Concrete	0	1,155
6	Pool	0	480
7	Natural landscape	400	170
8	Gravel	0	546



LEGEND:

- GRAVEL 3/4" ROUND
- ASPHALT
- SYNTHETIC TURF

LANDSCAPE PLAN

NORTH  
SCALE: 1" = 10'-0"

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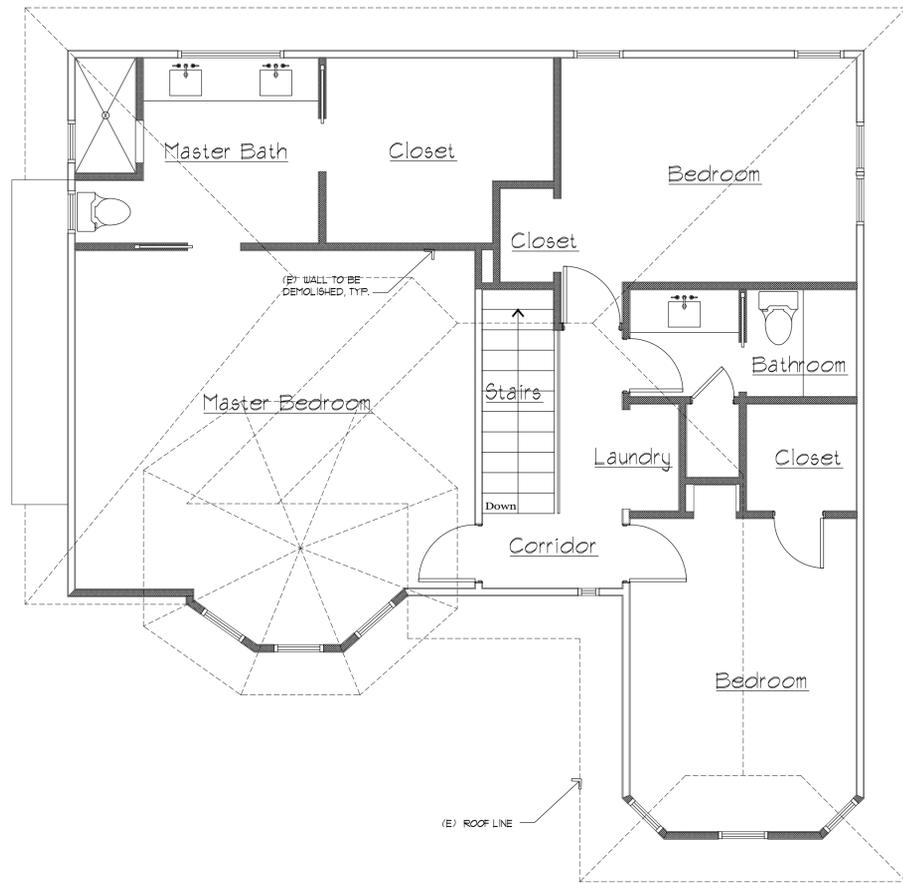
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**LANDSCAPE PLAN**

SCALE: PER PLAN

**A1.1**

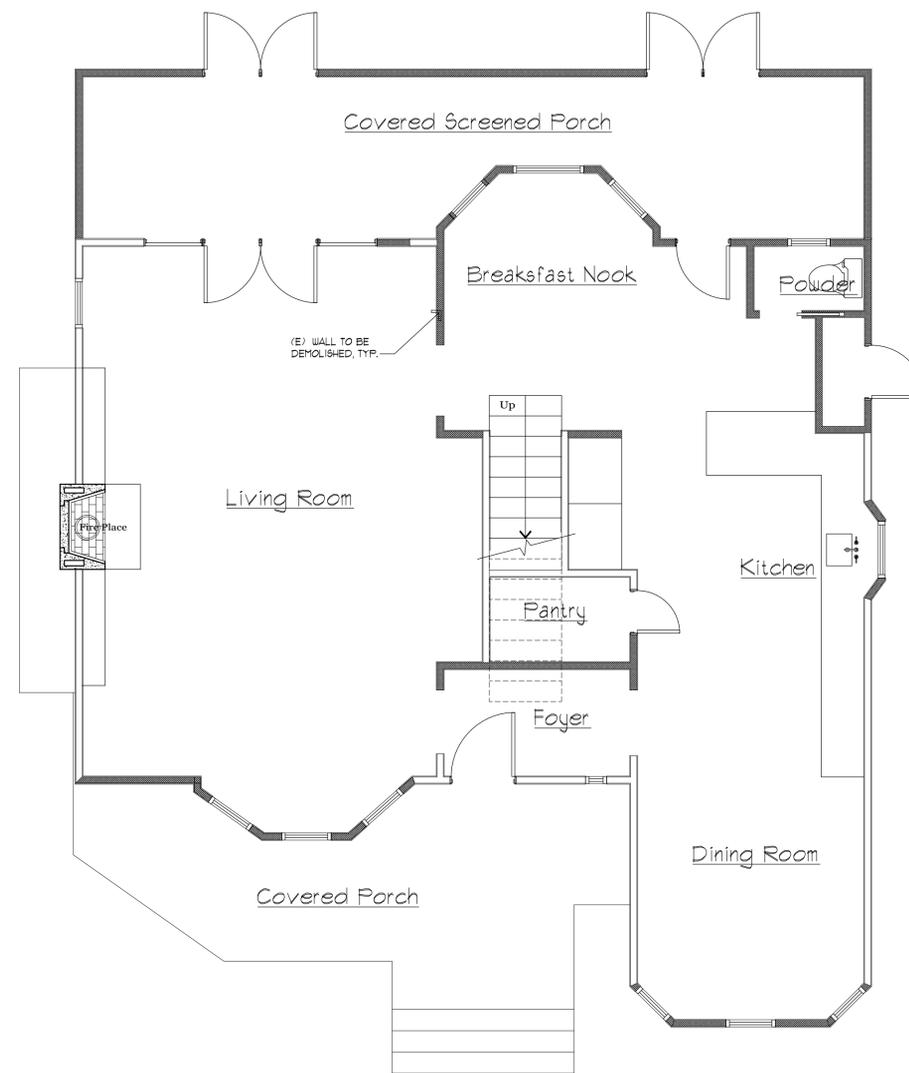
7/2/16 I:\smjserver\projects\2015\201502\beck1-drawings\01-current\2-Plan-201502.dwg

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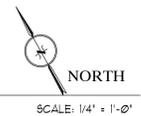
AS-BUILT/ DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND:

-  INDICATES WALLS TO BE DEMOLISHED
-  INDICATES EXISTING FRAMING TO REMAIN



AS-BUILT/ DEMOLITION FIRST FLOOR PLAN

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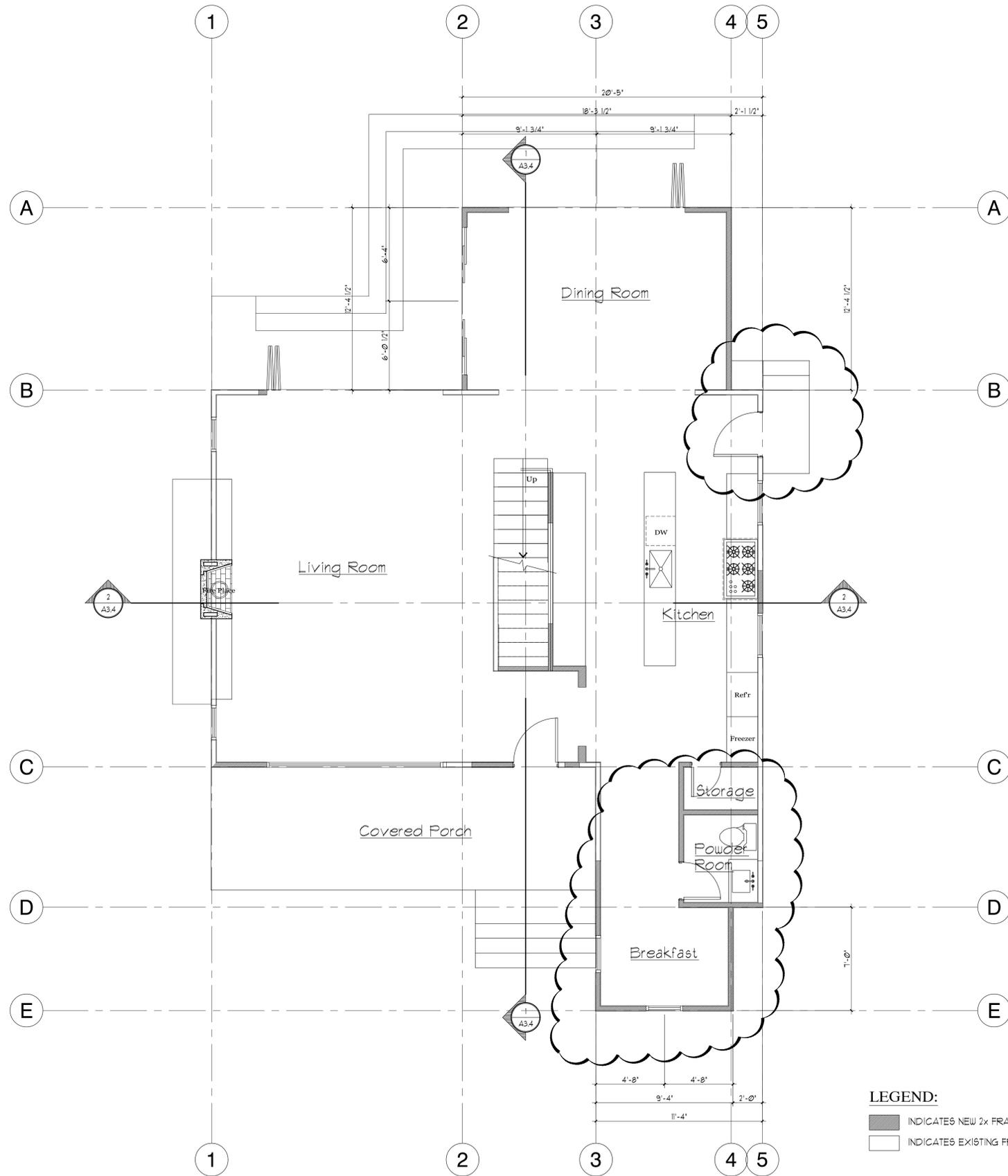
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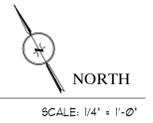
SHEET DESCRIPTION  
AS-BUILT / DEMO FLOOR PLANS

SCALE: PER PLAN

**A2.1**



FIRST FLOOR PLAN



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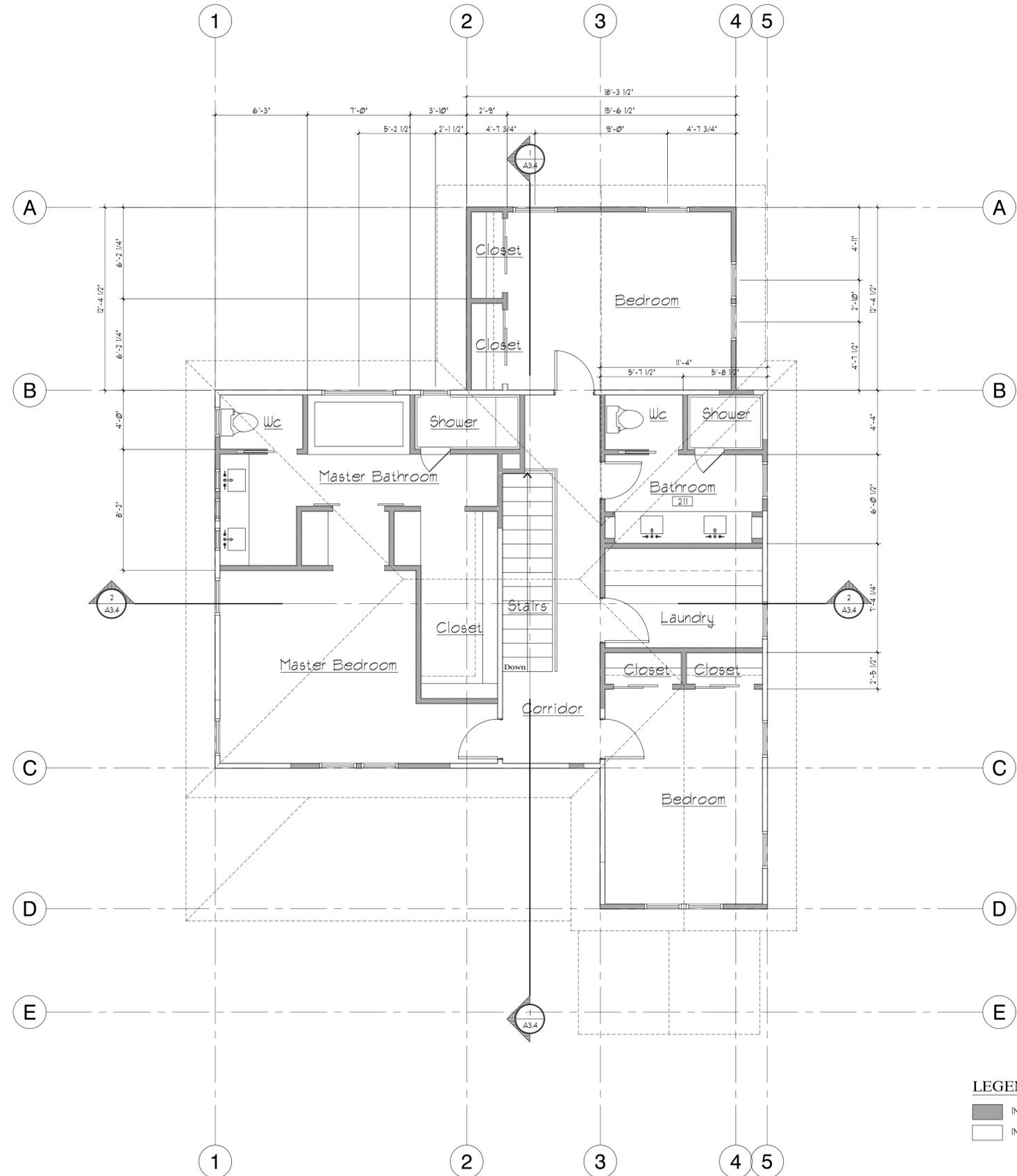
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**FIRST FLOOR PLAN**

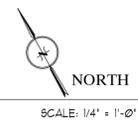
SCALE: 1/4" = 1'-0"

**A2.2**



**LEGEND:**  
 ■ INDICATES NEW 2x FRAMING  
 □ INDICATES EXISTING FRAMING

SECOND FLOOR PLAN



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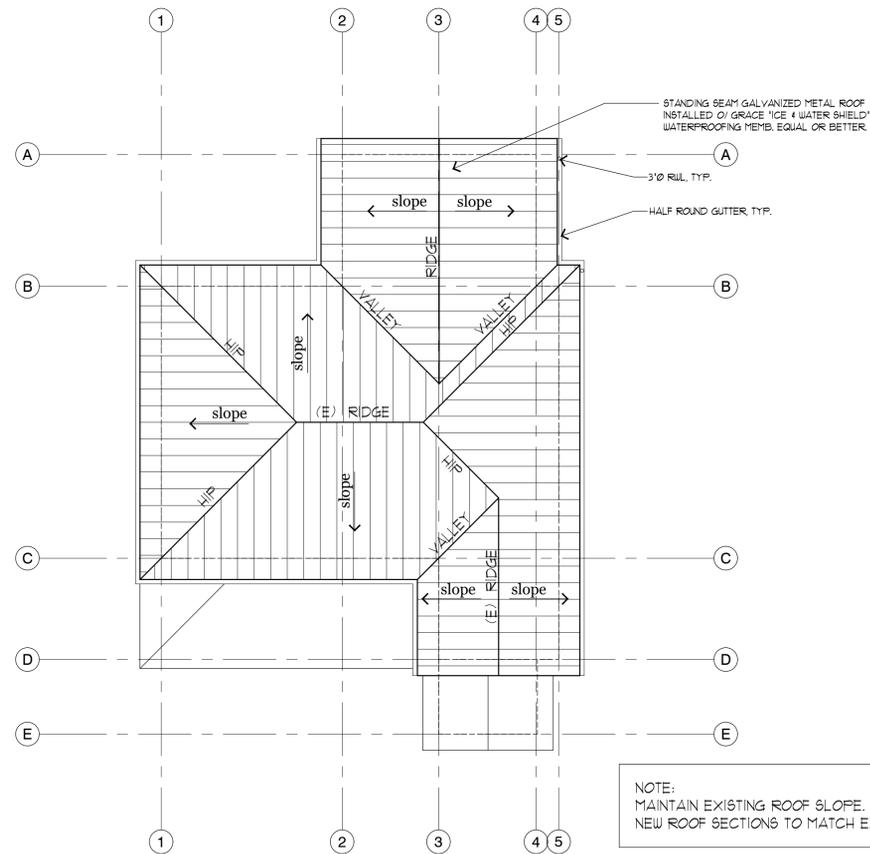
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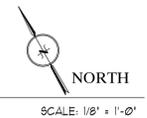
SHEET DESCRIPTION  
**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**A2.3**



ROOF PLAN



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SHEET DESCRIPTION  
**ROOF PLAN**

SCALE: PER PLAN

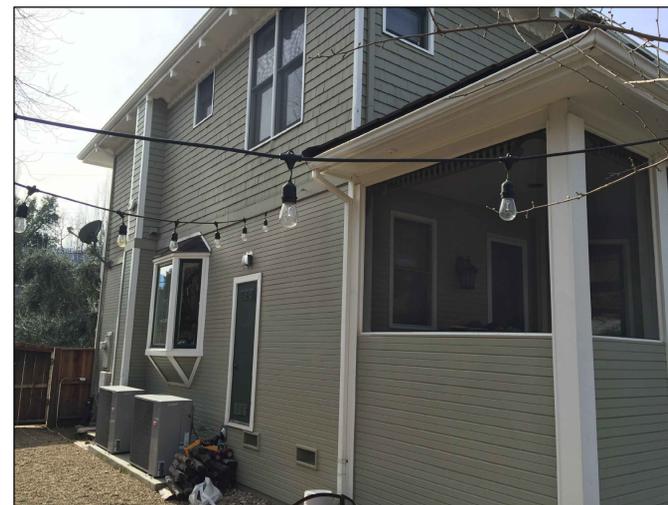
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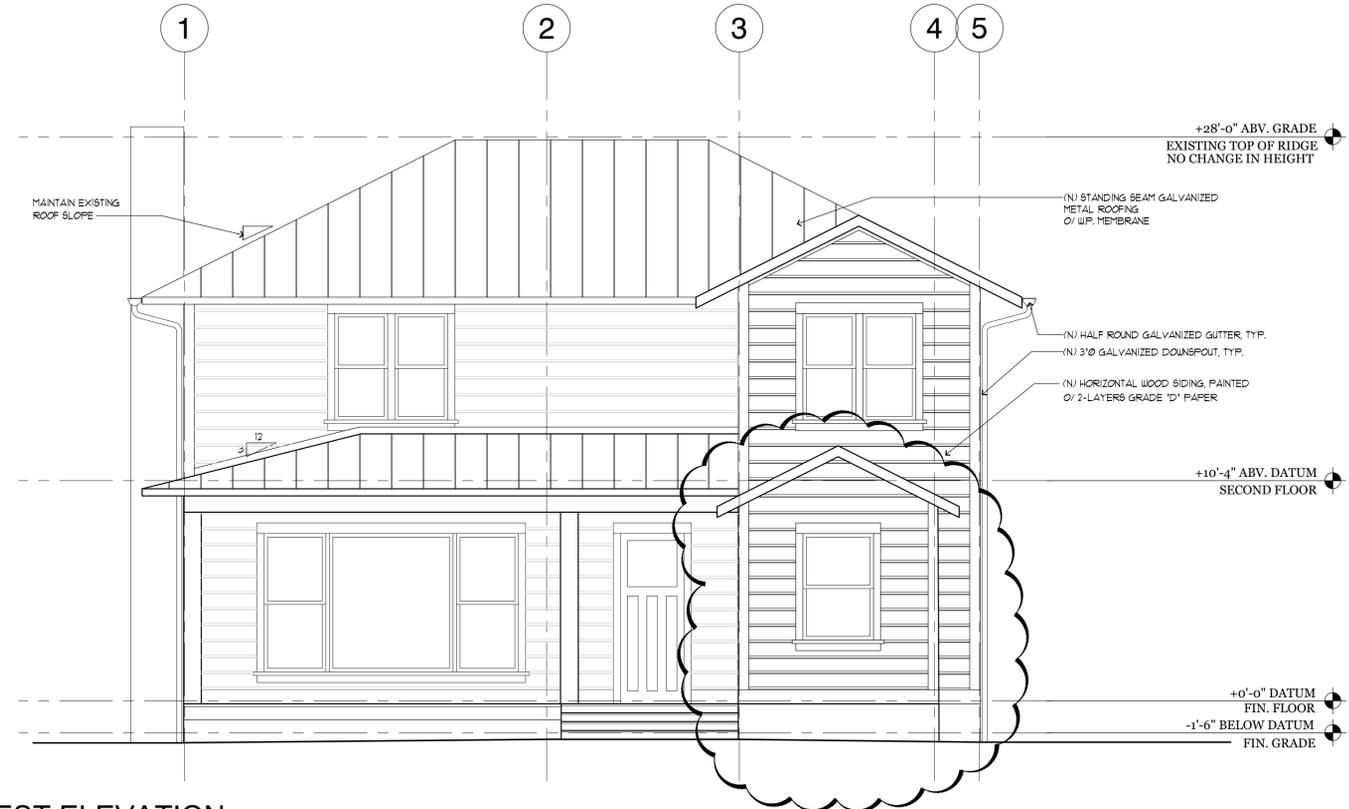
EXISTING SOUTHWEST ELEVATION - VIEW FROM ALLYN AVE.



EXISTING SOUTHWEST ELEVATION - VIEW FROM ALLYN AVE.



EXISTING SOUTHEAST ELEVATION - VIEW FROM DRIVEWAY



1 SOUTHWEST ELEVATION  
SCALE: 1/4"=1'-0"



2 SOUTHEAST ELEVATION  
SCALE: 1/4"=1'-0"

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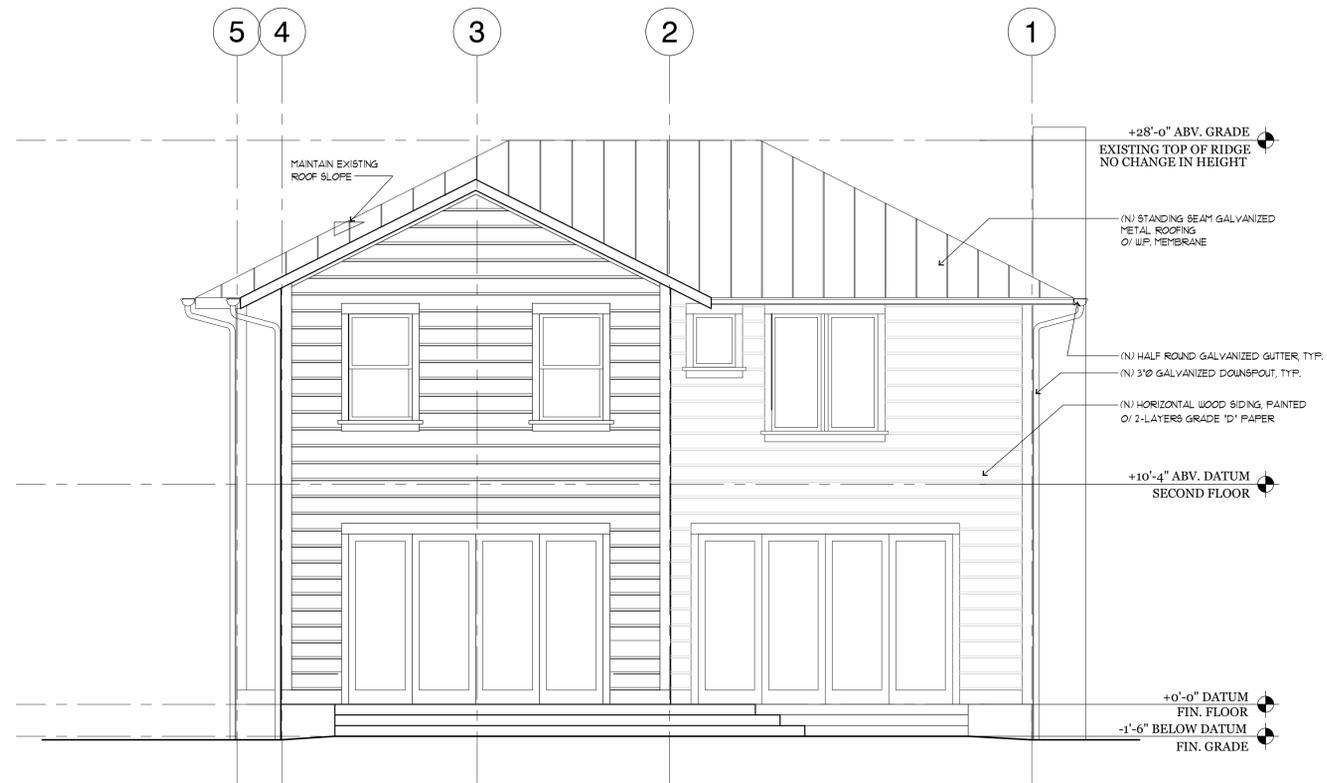
SHEET DESCRIPTION  
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

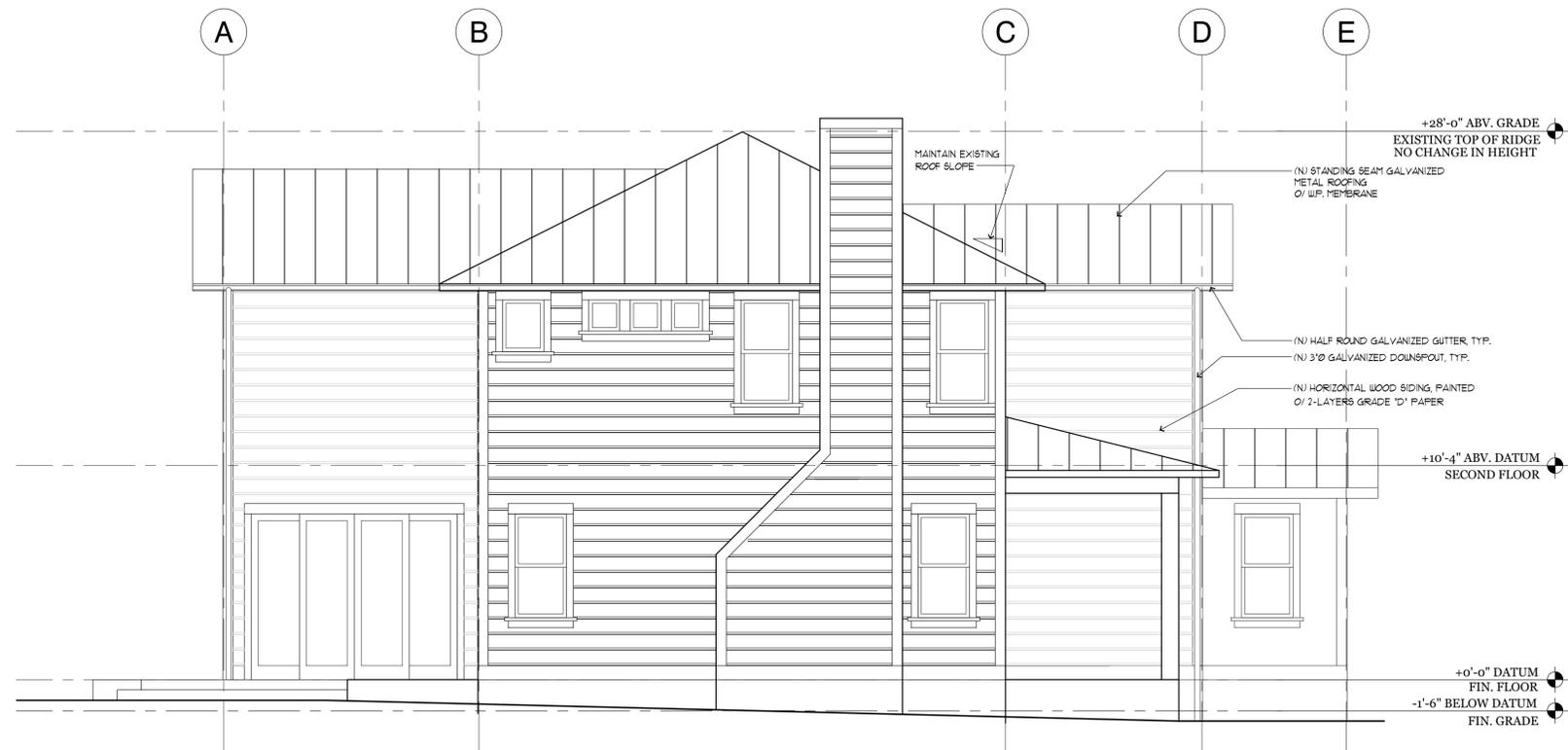
**A3.1**



EXISTING NORTHEAST ELEVATION - VIEW FROM BACKYARD



1 NORTHEAST ELEVATION  
SCALE: 1/4"=1'-0"



2 NORTHWEST ELEVATION  
SCALE: 1/4"=1'-0"

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SHEET DESCRIPTION  
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

**A3.2**