

**CITY OF ST. HELENA  
PLANNING DEPARTMENT 1480 MAIN STREET- ST. HELENA, CA 94574  
PLANNING COMMISSION**

**September 6, 2016**

**AGENDA ITEM:** 7

**FILE NUMBER:** PL16-037

**SUBJECT:** The applicant requests for Design Review approval to enclose an approximately 750 square foot covered patio with an (approximately) 1,300 square foot two-story addition in keeping with the architecture of the approved home and within the footprint of the approved covered patio; located at 2500 Spring Mountain Road in the Agriculture 20 Zoning District.

**PREPARED BY:** Noah Housh, Planning Director

**REVIEWED BY:** Noah Housh, Planning Director

**APPLICATION FILED:** June 9, 2016      **ACCEPTED AS COMPLETE:** July 26, 2016

**LOCATION OF PROPERTY:** 2500 Spring Mountain Road

**APPLICANT:** Jorge Hernandez

**PHONE:** 707-225-4731

**APN:** 009-131-002

**GENERAL PLAN/ZONING:**

The two parcel project site has a split General Plan and Zoning designation of Woodlands and Watershed and Agriculture. The more heavily vegetated western portion of the site (approximately 18.9 acres of land) is designated Woodlands and Watershed, while the remaining 43.6 acre eastern portion is designated Agriculture.

The zoning designations of the property implement these General Plan designations with the western 18.9 acres being within the Woodlands and Watershed Zoning District and the eastern 43.6 acres being within the Agriculture 20 (A-20) Zoning District. The project site is located on the A-20 portion of the property.

**PROPERTY DESCRIPTION**

The project site is made up of two parcels totaling 62.5 acres accessed off Bieber Road, a private road that serves this site and other residences in the immediate vicinity. A portion of the site fronts on Main Street however primary access is from Spring Mountain Road, located south of the site and providing access to Bieber Road.

The property is primarily undeveloped and contains wooded slopes around the perimeter. The central area of site has been approved for residential and agricultural improvements including an (approximately) 18,200 square foot single family home, a

(approximately ) 4,220 square foot guest residence (subject of this Design Review application), an 1,800 square foot guest cottage, a pool and barn complex proposed to serve agricultural uses on site. A large portion of the property was historically planted with olive trees, which the owner is re-habilitating.

Natural features of the property include a mixed hardwood forest on the western portion of the site with a single meadow of native and introduced grasses and wildflowers in the central flatter area. Predominant tree species include Coast live oak, California black oak, Douglas fir and Madrone.

Uses to the north (within the unincorporated portion of the County), west and south primarily consist of large, agriculturally zoned parcels, some developed with estate homes and wineries. The Culinary Institute of America's Greystone campus is located to the south and east of the site with agricultural uses located to the immediate east, on the west side of Main Street (SR 29).

### **PROJECT DESCRIPTION**

The project requests Design Review approval to enclose an approximately 750 square foot covered patio with a two story addition, located (almost) completely within the footprint of the previously approved covered patio. The approved patio was covered with a single story, shed style roof. The project proposes to construct a two story addition in place of this patio, with approximately 650 square feet of living space on each floor, covered with a gabled roof in keeping with the design of the approved home (currently under construction). Exterior finish materials for the addition include cedar board and batten siding, stone veneer, stucco chimneys and a standing seam metal roof, also in keeping with the overall design of the home.

This project is a modification to the design of the previously approved (approximately) 4,220 guest residence referenced in the project description, and currently under construction. If approved, the guest residence would total approximately 5,550 square feet. This unit was previously allowed through the approval of a Use Permit (attached).

Other elements of this previous approval included:

- A General Plan Amendment to change the land use designation for the eastern 43.64-acre portion of the site from Woodlands and Watershed to Agriculture;
- Rezoning of the same portion of the site from the Woodlands and Watershed district to the Twenty-Acre Agriculture (A-20) district;
- A Conditional Use Permit to allow construction of accessory dwellings and agricultural related buildings;
- A Variance to allow the proposed main dwelling to exceed the maximum height established in the Agriculture (A-20) District;
- A Lot Line Adjustment to relocate an existing interior lot line to the west without creating new parcels of land; and

- Design Review approval for the proposed main dwelling, accessory structures, site grading, roadway improvements, limited landscaping and related improvements.

## **ANALYSIS**

### **GENERAL PLAN**

As mentioned the project site is two parcels with differing General Plan designations: The project parcel is designated Agriculture (AG) with the other parcel designated Woodlands and Watershed (WW). The 1993 General Plan describes these designations as:

#### Agriculture (AG)

*The AG designation provides for agricultural uses, wineries, single-family residences, and public and quasi-public uses. Within the Agricultural Preserve Zoning District one residential unit per legal lot is permitted; new lots must have a minimum area of 40 acres. Within the A-20 and Winery Zoning Districts residential uses are permitted at a ratio of one (1) dwelling unit per 5 acres provided that after the first unit, any additional units would be restricted to parcels 0.5 acres or less in area; new lots must have a minimum area of 20 acres. The AG designation is applied to extensive areas of the valley floor that surround the urban core area. With the exception of those hillside areas designated **WW**, all lands outside the Urban Limit Line are designated AG regardless of their size or actual use.*

#### Woodland and Watershed (WW)

*The WW designation provides for very low density residential development within the context of the protection of wildlife, vegetation, open space, and watershed resources. Minimum parcel size is 5 acres. This designation is applied to areas in the hilly eastern and western-most portions of the City. The intent is to accommodate low-density, estate type development on the steep, heavily wooded slopes on either side of the valley that are less suitable for agricultural use, rather than permitting such uses to continue to occupy prime vineyard lands.*

The project site is located within the Urban Limit Line (ULL). The 1993 General Plan further states:

*The Urban Limit Line is a parcel-specific boundary that defines the outer edge of the Urban Service Area, marking the limit of where urban development is permitted. The intent of the Urban Limit Line is to discourage urban sprawl by containing urban development within a limited area during the planning period 1993-2010. Figure 2-3 shows the location of the Urban Limit Line.*

Based on these designations, some of the most applicable General Plan policies include:

*2.6.1 New development should be required to occur in a logical and orderly manner within well-defined boundaries, and be consistent with the ability to provide urban services.*

*2.6.2 Urban development shall be allowed to occur only within the Urban Service Area during the time frame of the General Plan.*

*2.6.6 Limit the amount of land designated for urban uses to those areas that can reasonably be predicted to be developed over the life of the plan. Areas not projected for urban development within the life of the plan shall be designated for agricultural or other non-urban uses.*

*2.6.14 Encourage a mix of housing types and price ranges to allow choice for current and future generations of St. Helenans.*

*2.6.17 Minimize situations where new residential development will block public view of surrounding vineyards.*

*2.6.18 Minimize large lot development (one dwelling unit per acre or less), except where this scale of development would not threaten retention of vineyards, inefficiently utilize land, or physically separate the community from the surrounding vineyards.*

Staff Response: Staff finds that the proposal to increase the square footage of the previously approved Guest Residence by approximately 1300 square feet is in keeping with the policies and requirements of the General Plan in that: All development is remaining on the parcel designated AG and within the ULL; the number of residential units, and therefore the density of the project, is not increasing beyond the previously approved density; all services continue to be provided in keeping with the requirements of the City; the project is expanding on the types of available housing within the City; no view impacts are anticipated as a result of the project; and the scale of the proposed development maintains the onsite agricultural elements (olive trees) and will not physically separate the community from any vineyards.

## **ZONING**

The project site is located in the Agriculture-20 (A-20) Zoning District. The A-20 zoning district is consistent with and implements the AG General Plan designation. Section 17.20.010 of the zoning code identifies that the purpose of the A-20 Zoning District is to:

*The twenty-acre agriculture district (A-20) provides for agricultural and residential uses. With the exception of those hillside areas designated woodlands and watershed, and wineries designated winery, all lands outside the urban limit line are designated A-20 regardless of their size or use. The purpose of the A-20 district is to promote and implement the policies of the general plan to preserve agricultural land uses and provide for future orderly development as the urban limit line is adjusted to accommodate urban growth. This district restricts the density of residential use and stipulates the location and area of residential development to promote preservation of agricultural land use and reduce impacts to the provision of infrastructure as the urban area of the city expands.*

Section 17.20-020 of the A-20 Zoning District identifies that single family residences and second dwelling units are permitted land uses in the District. Further, Section

17.20.030 identifies that more than one single family dwelling per parcel (in keeping with the density and development standards or the A-20 District) as well as an accessory building with plumbing (as described in Section 17.116.030), are both Conditional Uses. The Guest Residence was previously approved through a Use Permit, as an accessory structure with plumbing.

Further, Section 17.20.060 identifies the development standards for the A-20 Zoning District with 17.20.060 C. stating the standards for lots two areas or greater in size. Specifically, these standards require:

Maximum nonagricultural coverage	1 acre <sup>1</sup>
Floor area ratio (F.A.R.)	Not regulated
Front setback	50 feet <sup>2</sup>
Side setback	50 feet <sup>2</sup>
Rear yard	20 feet
Side yard	20 feet
Height of buildings/structures	30 feet

1 Nonagricultural coverage: No more than one acre of any one parcel shall be removed from active agricultural use. "Active agricultural use" means animal husbandry, crop, tree farming, and viticulture. All structures, driveways (except for a sixteen (16) foot wide driveway no greater than two-thirds the length of the parcel), parking, patios, lawn or other nonagricultural uses shall be limited to the one acre maximum per parcel.

2 Measured from the centerline of abutting streets.

As identified on the site plan, the project design is in keeping with all of the development standards for the A-20 District on parcels greater than two acres in size. Specifically, the request is to increase the square footage of the home by constructing an addition in an area previously approved for a covered patio. While not increasing the building foot-print, these changes will increase the square footage of the approved home by approximately 1,300 square feet, and also increase the Floor Area Ratio (F.A.R.) of the structure. However, the proposal is not significantly increasing the developed/disturbed area (lot coverage) of the property and F.A.R. is not regulated in the A-20 District.

Landscaping is proposed in accordance with Section 17.112 of the zoning code. The primary goal of Section 17.112 is to ensure the implementation of Water-Efficient

landscaping. The project proposes a variety of water efficient plantings, and verification of compliance with the requirements will occur as a part of the building permit review.

The A-20 District does not specify any parking requirements for residential land uses. However, two covered parking spaces will be provided in the main dwelling and the proposed Guest House provides two un-covered parking spaces adjacent to the home. Additionally, the property provides ample areas for additional parking and was previously found to comply with the "Parking and Loading Requirements" for residential development.

Staff Response: Staff finds that the proposal to enclose an approximately 750 square foot covered patio with a two story addition, located within the footprint of the previously approved covered patio is consistent with the development criteria identified in the A-20 Zoning District. The design of the addition meets all of the development criteria of the A-20 Zoning District, is in keeping with the design of the approved home, proposes landscaping and parking in compliance with the requirements and the "Guest Unit"

### **CEQA**

Given that the project proposes construction of a small, two story addition to the previously approved 'Guest Cottage', staff finds that the project qualifies for a Class 3 Categorical Exemption under CEQA Section 15303. This section exempts the construction of "...limited numbers of new, small facilities or structures...".

### **WATER**

Summarize project and water neutrality analysis

Based on this description of the proposed use, the water neutrality analysis identifies the project will be in compliance with the requirements of the Ordinance.

### **DESIGN REVIEW**

The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. The following design criteria should be considered by the Planning Commission in review of this application (Zoning Code Section 17.164.030):

1. Consistency and compatibility with applicable elements of the general plan;
2. Compatibility of design with the immediate environment of the site;
3. Relationship of the design to the site;
4. Determination that the design is compatible in areas considered by the board as having a unified design or historical character;
5. Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;
6. Compatibility with future construction both on and off the site;
7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;
8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;

9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;
10. Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;
11. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;
12. Whether natural features are appropriately preserved and integrated with the project;
13. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;
14. In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;
15. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;
16. Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;
17. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.

Staff finds that the proposed project is consistent with the required design review criteria listed above. Specifically, the proposed design would reflect a rustic/agricultural design theme consistent with the sites General Plan designation and the historic uses on the site; the design is compatible with the surrounding agriculture, residential and woodland uses in that it minimizes disturbance of any of these elements by preserving natural and historic elements of the property; the design promotes a harmonious transition in scale and character of all on-site structures and uses given the spacing of each structure on the property, which also maintains the balance between residential agriculture and woodland uses; the design of the structure incorporates board and batten siding, stone and other materials generally associated with rural agricultural buildings.; the planning and siting of structures create a sense of order by placing the structure on the lower elevations to maximize privacy, reducing grading and maximize retention of trees; the placement of the building maintains the open space around the perimeter of the site and provides for a logical arrangement of buildings for occupants and visitors; site plan provides for adequate accessory and ancillary facilities on the site, including but not limited to guest houses and cottages, a barn, a pool area, and other agricultural facilities; the addition reflects the same overall design and use of materials as the main residence; on-site circulation system was constructed on the existing unimproved roads and vehicular bicycle and pedestrian access is provided via Bieber Road; existing natural features, including a large number of trees, hillsides and other natural features have been preserved by the design; the proposed vertical board and batten siding, metal roof and stone veneer are seen as a unified rural design; the landscape design is found to be both desirable, functional and suitable for the site,

given the incorporation of native plants and species seen as consistent with the water efficiency requirements of the City; and finally the design incorporates and promotes sustainable building practices and materials and will be completely consistent with the requirements of the State energy code.

## **CORRESPONDENCE**

As of the timing of this report, no comments on the project have been received by staff.

## **ISSUES**

Staff finds no issues with the proposed project, and none have been raised by comments from the public.

## **STAFF RECOMMENDATION**

It is recommended by the Planning and Community Improvement Department that the Planning Commission:

1. Determine that the project is exempt from the requirements of CEQA as a Class 3 Categorical Exemption under CEQA Section 15303.
2. Find that the project is consistent with the design criteria and approve the Design Review application to allow the enclosure of an approximately 750 square foot covered patio with an (approximately) 1300 square foot, two story addition in keeping with the architecture of the approved home and within the footprint of a previously approved covered patio; located at 2500 Spring Mountain Road in the Agriculture 20 Zoning District.

## **ATTACHMENTS**

Resolution to Approve the Project

Applicant Provided Project Description/Summary

Project Plans (Site Plan, Floor Plans, Roof Plan, Elevations, Cross Section and Details)

WELO Analysis and Landscape Plan

Background on Previous Approvals (Staff Report, Site Plan, Council Resolution)

**CITY OF ST. HELENA PLANNING COMMISSION**

**RESOLUTION PCXXX**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ST. HELENA  
GRANTING APPROVAL OF DESIGN REVIEW  
TO ALLOW THE CONSTRUCTION OF AN APPROXIMATELY 1300 SQUARE FOOT  
ADDITION, LOCATED AT 2500 SPRING MOUNTAIN ROAD, FILE NO. PL16-037**

**PROPERTY OWNER: HERNANDEZ FAMILY TRUST      APN: 009-738-002**

**Recitals**

**A.      Whereas**, Jorge Hernandez submitted an application for Design Review to enclose an approximately 750 square foot covered patio with an (approximately) 1,300 square foot two-story addition in keeping with the architecture of the approved home and within the footprint of the approved covered patio, at 2500 Spring Mountain Road in the Agriculture-20 Zoning District; and

**B.      Whereas**, the Planning Commission of the City of St. Helena, State of California, considered the project, staff report, and all testimony, written and spoken, at a duly noticed public hearing on September 6, 2016.

**C.      Now, therefore** let it be found that, the Planning Commission approves the requested Design Review on the following basis:

**Resolution**

**A.**      The Planning Commission hereby finds that this project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303, of the California Environmental Quality Act (CEQA).

**B.**      The Planning Commission has considered the Design Review design criteria identified in Municipal Code Section 17.164.030 to support the motion to approve the Design Review given that the project has been found to demonstrate:

1. Consistency and compatibility with applicable elements of the general plan in that the project maintains the standards for lot sizes and development, identified in the Agriculture designation is founds given the proposed design would reflect a rustic/agricultural design theme consistent with the sites General Plan designation and the historic uses on the site;
2. Compatibility of design with the immediate environment of the site given that the design maintains historic design features and materials is found based on the design's compatibility with the surrounding agriculture, residential and woodland

uses in that it minimizes disturbance of any of these elements by preserving natural and historic elements of the property;

3. Relationship of the design to the site given the scale of the addition, the proposed setbacks and the context of the neighborhood is supported given that the design promotes a harmonious transition in scale and character of all on-site structures and uses given the spacing of each structure on the property, which also maintains the balance between residential agriculture and woodland uses;
4. Determination that the design is compatible in areas considered by the Commission as having a unified design or historical character given the historic scale and design features incorporated into the proposal is made based on the design of the structure which incorporates board and batten siding, stone and other materials generally associated with rural agricultural buildings;
5. Whether the design promotes harmonious transition in scale and character in areas between different designated land use given the surrounding agricultural properties is found to be based on the planning and siting of structures create a sense of order by placing the structure on the lower elevations to maximize privacy, reducing grading and maximize retention of trees;
6. Compatibility with future construction both on and off the site given the access, context and historic nature of the surrounding neighborhood is maintained by the placement of the building maintains the open space around the perimeter of the site and provides for a logical arrangement of buildings for occupants and visitors;
7. Whether the architectural design of structures and their materials and colors are appropriate to the function of the project providing appropriate design elements and exterior features is found given that the site plan provides for adequate accessory and ancillary facilities on the site, including but not limited to guest houses and cottages, a barn, a pool area, and other agricultural facilities;
8. Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community which the project does through appropriate setbacks and thoughtful site planning is found given that the placement of the building maintains the open space around the perimeter of the site and provides for a logical arrangement of buildings for occupants and visitors;
9. Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures which they are given the provided site plan, setback and landscaping proposed is founds based on the site plan providing for adequate accessory and ancillary facilities on the site, including but not limited to guest houses and cottages, a barn, a pool area, and other agricultural facilities;

10. Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept which the accessory structures, outdoor decks, pool and rear yard arbor are found to be;
11. Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles which they are given the implementation of the approved single family uses and maintenance of the existing access to the property;
12. Whether natural features are appropriately preserved and integrated with the project which the project seeks to do through careful site planning and maintenance of existing natural features, including a large number of trees, hillsides and other natural features have been preserved by the design
13. Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions which they are given the proposed vertical board and batten siding, metal roof and stone veneer are seen as a unified rural design;
14. In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character which the design is found to be, given the features and elements referenced above;
15. Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site which the landscape design is found to be both desirable, functional and suitable for the site, given the incorporation of native plants and species seen as consistent with the water efficiency requirements of the City;
16. Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena, which it is given the drought tolerant elements proposed;
17. Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials which is, based on the significant energy and water saving requirements of the California Building Code and City of St Helena development criteria.

**C.** Now therefore be it further resolved that, the Design Review for the above described project is granted subject to compliance with all applicable provisions of the Zoning Code subject to each of the following conditions. Permit shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of

a building permit. The conditions noted below are particularly pertinent to this permit and shall not be construed to permit violation of other laws and policies not so listed.

1. The Design Review shall be vested within one (1) year from the date of approval. A building permit for the project allowed under this approval shall have been obtained within one (1) year from the effective date of the Design Review decision or this approval shall expire; provided however that the approved Design Review may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.030, Extension of Permits and Approvals.
2. This permit is valid for this design only. New permits must be applied for any change in use. These permits will expire if the use is discontinued pursuant to then existing ordinances and regulations.
3. The Design Review shall not become effective until fourteen (14) calendar days after approval, providing that the action is not appealed by the City Council or any other interested party within that 14 day period.
4. Any request for an extension of the Design Review must be justified in writing and received by the Planning Department at least thirty (30) days prior to expiration.
5. All required fees, including planning fees, development impact fees, building fees, retrofit fees, and St. Helena Unified School District fees shall be paid prior to issuance of building permit.
6. Compliance with all permit conditions shall be clearly identified on all plans submitted for building permit approval, shall occur in accordance with specific regulations but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
7. The applicant will defend and indemnify and hold the City, its agents, officers, and employees harmless of any claim, action or proceedings to attack, set aside, void or annul an approval so long as the City promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
8. Provided they are in general compliance with the approved Design Review, minor modifications found to be in substantial conformance with the approved design may be approved by the Planning Director.
9. This Design Review shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and benefit of the City of St. Helena.
10. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The owner/applicant is responsible for meeting with the Building

Official / Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and the accessibility standards of Title 24.

11. Construction documents shall be in compliance with approved plans and exhibits.
12. This action approves an approximately 1,300 square foot two-story addition to the previously approved "guest unit", referenced in Council Resolution 2014-33.

### **Public Works Department Conditions of Approval**

13. Approval of this project shall be subject to the requirements of, and designed and constructed in accordance with, the most current versions of all federal, state, county and city codes governing such improvements. Approval of these design review preliminary plans is not considered a final approval of grading, drainage and erosion control design elements.
14. Regardless of the final zoning of the properties, the applicant shall comply with all grading restrictions and requirements of the Woodlands and Watershed District, Section 17.64.060 of the Municipal Code. Where it is found that the applicant deviated from the restrictions in 17.64.060, the deviation shall be remedied or restored to its original configuration to the maximum extent possible, as determined by the Public Works Director. Any grading and slope violations shown on this design review, any grading and site plans or existing construction in the field are not exempt from the code requirements of 17.64.060 and not approved herewith.
15. For any improvements outside the existing building envelope, a grading and drainage plan showing topographic data, all easements, infrastructure onsite and directly adjoining, and an erosion control plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit. If the project entails more than 50 cubic yards of soil disturbance, 10,000 square feet of disturbance area, a cut or fill of 3 feet or more, or alteration of any drainage pattern, a grading permit shall be required.
16. Drainage needs to be routed to prevent inundation of neighboring properties. Grading and/or site improvement plans shall show how 2-year and 10-year storm flows shall be infiltrated on site and/or diverted at the property lines to prevent inundation of neighboring properties.
17. Where fire sprinklers are required, applicant shall install an appropriately-sized water service system with pumps if necessary to adhere to the latest city and state fire codes prior to Certificate of Occupancy as approved by the Fire Chief.
18. Prior to Building Permit issuance, if applicable, a well yield test verifying adequate production for domestic and fire system use shall be submitted for review and approval by Napa County Environmental Management.
19. Construction may not commence until adequate access to fire water supply is available to building site as approved by the Fire Chief.

20. The applicant shall repair all public improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to Certificate of Occupancy.
21. As applicable, any incomplete or broken public improvement such as shoulder, swales, drainage pipes or asphalt along the project frontage shall be replaced per City/Caltrans specifications prior to Certificate of Occupancy, extent to be determined by the Public Works Department.

### **Fire Department Conditions of Approval**

22. Installation of approved interior fire sprinkler system is required, unless waived by the Fire Chief.
23. One hour minimum fire resistant construction on all exterior walls within 10' of property boundary. Fire resistant construction of interior walls shall be determined by type of occupancy and may also be required by a high fire severity zone.
24. There exists a right-to-farm the adjoining properties. There is a good faith expectation that no complaints will occur regarding legal, normal agricultural activities on the adjacent land. Such activities may include day or night disbursement of chemicals, and creation of dust, noise, or fumes.

### **Building Department Conditions of Approval**

25. A building permit is required for all onsite demolition, construction and/or change of occupancy or use.
26. The applicant will be required to comply with the codes adopted at the time the applicant applies for a building permit. At this time the City of St. Helena utilizes the 2013 Title 24 codes.
27. When submitting plans for a building permit, the plans shall include all documentation listed on the building permit application checklist.
28. The applicant shall provide a construction waste management plan with the building permit application.
29. The plans for construction shall include a checklist for compliance with the California Green Buildings Standards Code, mandatory measures. Provide a reference on the checklist indicating where the mandatory measures can be found on the plans.
30. When submitting plans, the title page shall include all information referenced on the building permit application checklist Title Page requirements.
31. Building Permit application materials and plans shall include any documentation pertaining to special loads applicable to the design and the specified section of the code that addresses the condition; special inspections for any systems or components requiring special inspection; requirements for seismic resistance; and a complete list of deferred submittals at time of application. Any deferral of the

required submittal items shall have prior approval of the Building Official however deferral of fire sprinkler design is not allowed.

**I HEREBY CERTIFY** that the foregoing Design Review was duly and regularly approved by the Planning Commission of the City of St. Helena at a regular meeting of said Planning Commission held on September 6, 2016, by the following roll call vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

APPROVED:

ATTEST:

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Grace Kistner  
Chair, Planning Commission

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Noah Housh,  
Planning and Community  
Improvement Director



## Written Statement:

The permitted structure (Approved by Permit #BD1405-009) is a two story, 4,222 S.F., 5 bedrooms and 4 ½ bathrooms single family residence. The approved building is permitted to be wood frame construction set on a slab on grade foundation. Exterior finish materials will consist of clear cedar board and batten siding, stone siding, stucco chimneys, standing seam metal roofs, all wood windows with stained cedar trim, stained cedar posts and brackets. **The proposed revision encloses the approved covered outdoor living room at the end of the building and adds an office/bedroom above. Square footages are indicated below. There are no other changes.**

## Requested Information:

- Maximum Building Height - 29'-4"
- Number of floors - 2 Floors
- Added First Floor Area - 636 s.f. - residential use (see "Project Information" (A0.0) for more information)
- Added Second Floor Area - 656 s.f. - residential use (see "Project Information" (A0.0) for more information)
- (2) prior approved parking spaces provide - (see (A0.0) site plan)
- Access to property from Spring Mountain Road (See location map (A0.0) plot plan (A0.0) and civil plan (C1))
- Maximum Occupancy Load - 10

A handwritten signature in black ink, appearing to read "Edward S. White", is written over a horizontal line.

06/09/2016

Edward S. White, Architect  
License #C27617

**Project Description**

The permitted structure is a two story, 4,222 S.F., 5 bedrooms and 4 1/2 bathrooms single family residence. The building is to be wood frame construction set on a slab on grade foundation. Exterior finish materials shall consist of clear cedar board and batten siding, stone siding, stucco chimneys, standing seam metal roofs, all wood windows with stained cedar trim, stained cedar posts and brackets. **The proposed revision encloses the approved covered outdoor living room and adds an office/bedroom above. There are no other changes.**

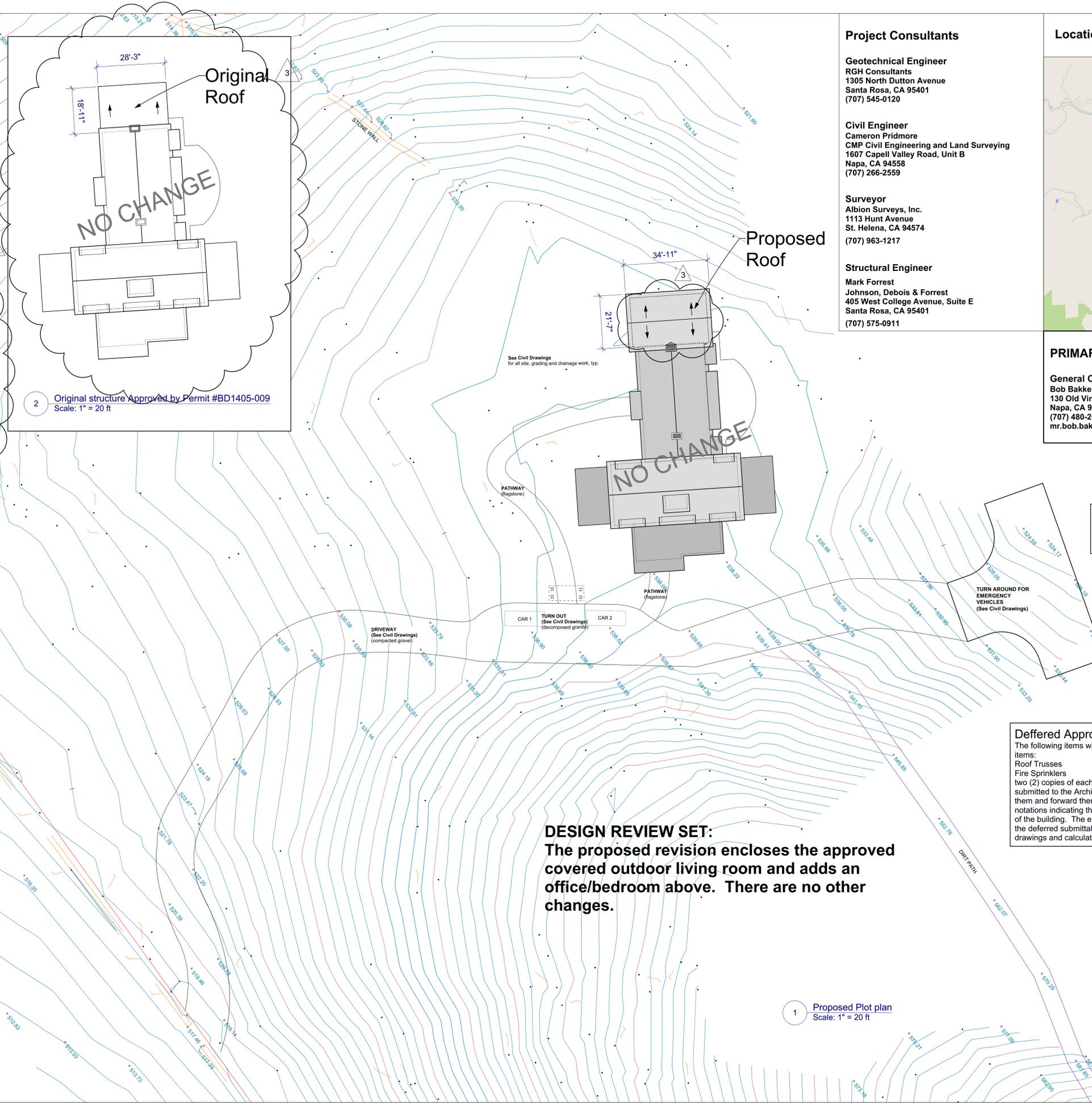
**Project Information**

Current zoning	Woodlands & watershed
Proposed zoning	AG20
Building Use	R-3
Max. building height	29'4"
Number of floors	2 (+ attic)
<b>Square footage calculations</b>	
1st floor living space	3,096 + 636 = 3,732 S.F.
2nd floor living space	1,259 + 656 = 1,915 S.F.
Mech. space #1	112 S.F.
Mech. space #2	65 S.F.
Storage area #1	330 S.F.
Storage area #2	79 S.F.
Storage area #3	110 S.F.
Covered outdoor living room	498 S.F. deleted
Covered outdoor shower	48 S.F.
Covered master bedroom patio	322 S.F.
Covered bedroom #2 patio	322 S.F.
<b>Building footprint</b> (includes covered porches & entries)	4,286 + 138 = 4,424 S.F.
<b>Footprint change from approved</b>	138 S.F.
<b>Parking spaces</b>	2 (uncovered)

**Sheet Index**

- A0.0 Project info, notes, plot plan\*
- A0.1 Notes, symbols, abbreviations
- A0.2 Green Building Standards, Title 24
- A0.3 Title 24
- A2.0 Proposed 1st floor plan
- A2.1 Proposed 2nd floor plan
- A2.2 Proposed attic plan
- A2.3 Proposed roof plan
- A3.0 Existing and Proposed West elevations
- A3.1 Existing and Proposed North Elevations
- A3.2 Existing and Proposed East Elevations
- A3.3 Existing and Proposed South Elevations
- A4.0 Proposed sections
- A4.1 Proposed sections
- A5.0 Interior elevations
- A5.1 Interior elevations
- A5.2 Interior elevations
- A5.3 Interior elevations
- A5.4 Interior elevations
- A5.5 Interior elevations
- A6.0 Details
- A6.1 Details
- A6.2 Details
- A6.3 Details
- A6.4 Details
- A7.0 Schedules
- E2.0 1st Floor elect., mech. & drainage plan
- E2.1 2nd Floor elect., mech. & drainage plan
- E2.2 Attic elect., mech. plan & lighting schedule
- SN1 Sheet Notes
- SN2 Sheet Notes and Details
- SP1 Foundation Plan
- SP2 Upper Floor Framing
- SP3 Attic Floor Framing
- SP4 Roof Framing Plan
- S1 Details
- S2 Details
- S3 Details
- S4 Details
- S5 Details
- C1 Site Plan

\* Bold indicates Design Review Package  
 Site Grading and drainage plan by CMP Engineering via separate permit



**Project Consultants**

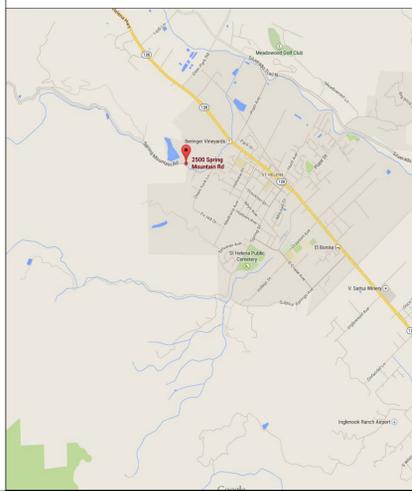
**Geotechnical Engineer**  
 RGH Consultants  
 1305 North Dutton Avenue  
 Santa Rosa, CA 95401  
 (707) 545-0120

**Civil Engineer**  
 Cameron Pridmore  
 CMP Civil Engineering and Land Surveying  
 1607 Capell Valley Road, Unit B  
 Napa, CA 94558  
 (707) 266-2559

**Surveyor**  
 Albion Surveys, Inc.  
 1113 Hunt Avenue  
 St. Helena, CA 94574  
 (707) 963-1217

**Structural Engineer**  
 Mark Forrest  
 Johnson, Debois & Forrest  
 405 West College Avenue, Suite E  
 Santa Rosa, CA 95401  
 (707) 575-0911

**Location Map**



**PRIMARY CONTACT**

**General Contractor**  
 Bob Bakker  
 130 Old Vine Way  
 Napa, CA 94558  
 (707) 480-2674  
 mr.bob.bakker@gmail.com

**McCOPPIN Studios**

architecture & interiors  
 155A KENTUCKY STREET, SUITE 7  
 PETALUMA, CA 94952  
 T 415.437.1420  
 C 415.699.1954  
 WWW.MCCOPPIN.COM  
 ned@mccoppin.com



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**Hernandez single family residence**  
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Revisions	Original submittal-4/30/14
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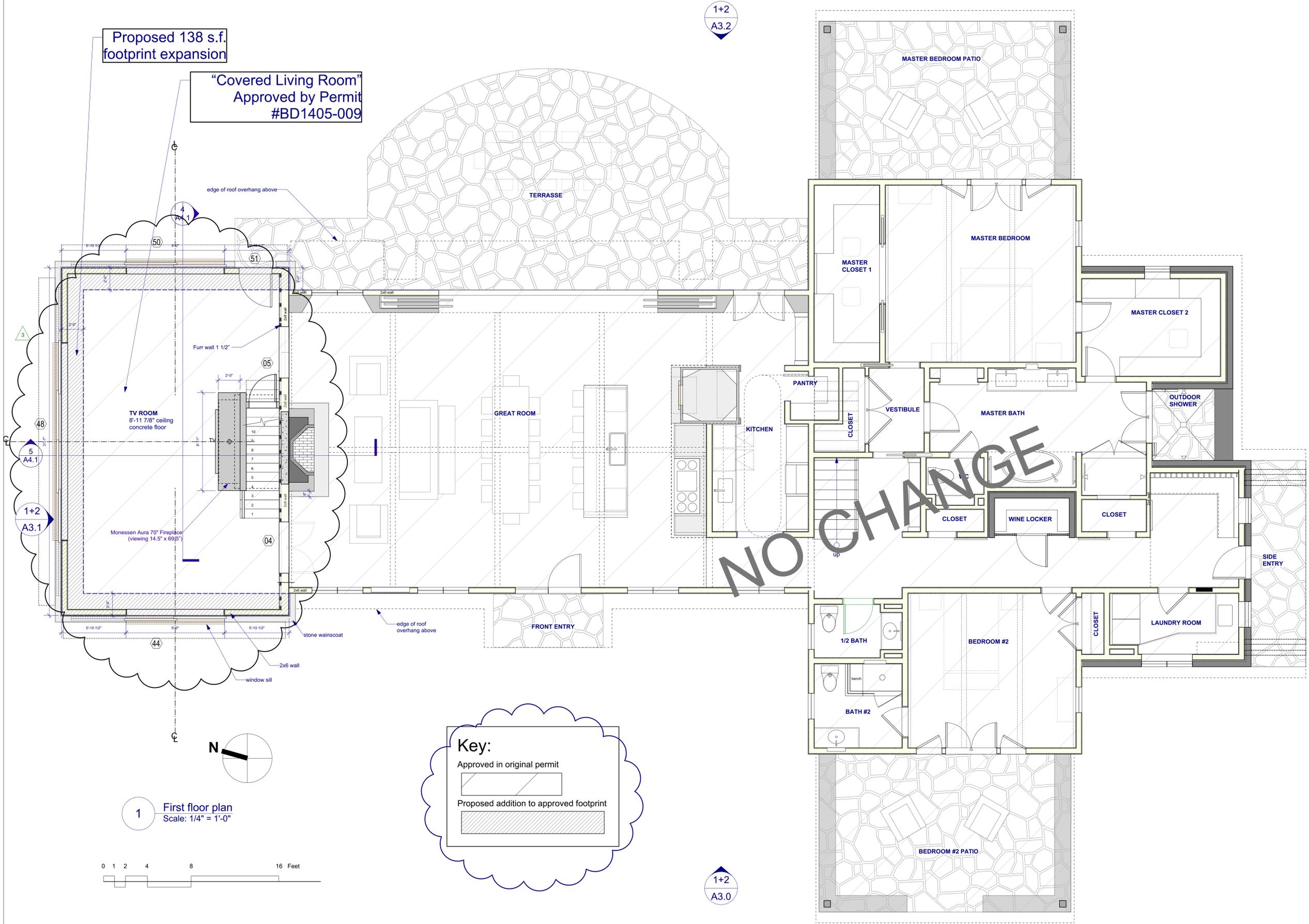
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 Project info  
 Notes, Index  
 Plot plan

Sheet No.: **A0.0**

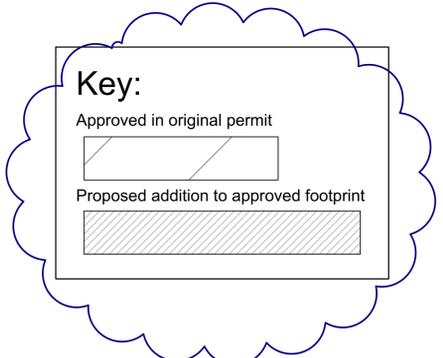
Project Title: Hernandez  
 Date: June 08, 2016

Proposed 138 s.f. footprint expansion

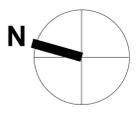
"Covered Living Room"  
Approved by Permit  
#BD1405-009



NO CHANGE



1 First floor plan  
Scale: 1/4" = 1'-0"



1+2  
A3.2

1+2  
A3.3

1+2  
A3.0

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C 415.699.1954  
WWW.MCCOPPIN.COM  
ned@mccoppin.com



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Sheet Contents:  
**1st Floor Plan**

Sheet No.:  
**A2.0**

Project Title:  
**Hernandez**  
Date:  
**June 08, 2016**



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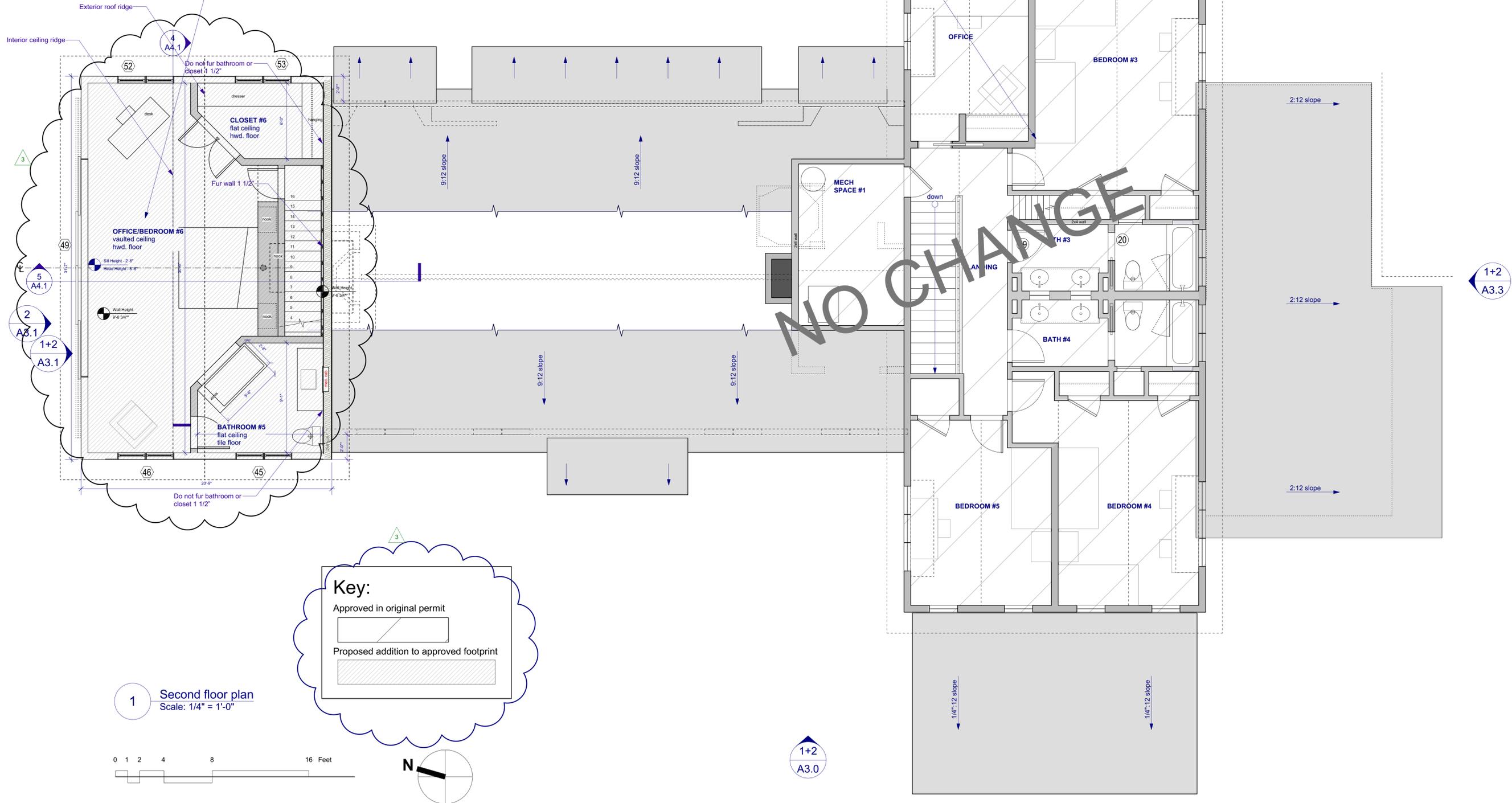
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**A2.1**

Project Title:  
**Hernandez**  
Date:  
**June 08, 2016**

Approved by Permit  
#BD1405-009, NO  
CHANGE

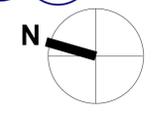
1+2  
A3.2

Proposed 656 s.f.  
second floor addition



**Key:**  
Approved in original permit  
Proposed addition to approved footprint

**1** Second floor plan  
Scale: 1/4" = 1'-0"



1+2  
A3.0



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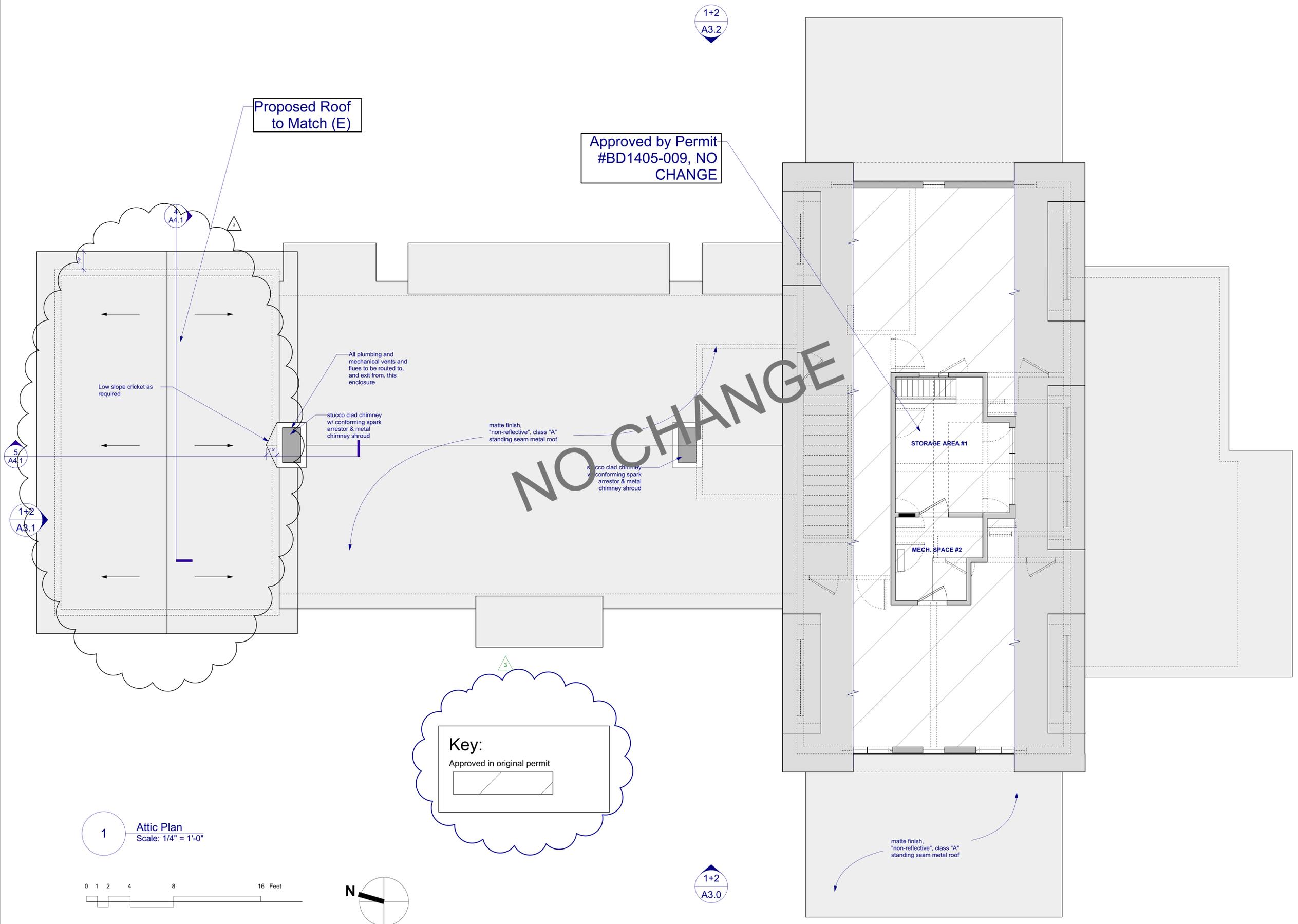
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Sheet Contents:  
**Attic Plan**

Sheet No.:  
**A2.2**

Project Title:  
**Hernandez**  
Date:  
**June 08, 2016**



1+2  
A3.2

1+2  
A3.3

1+2  
A3.0

5  
A4.1

1+2  
A3.1



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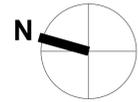
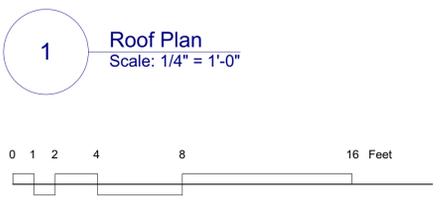
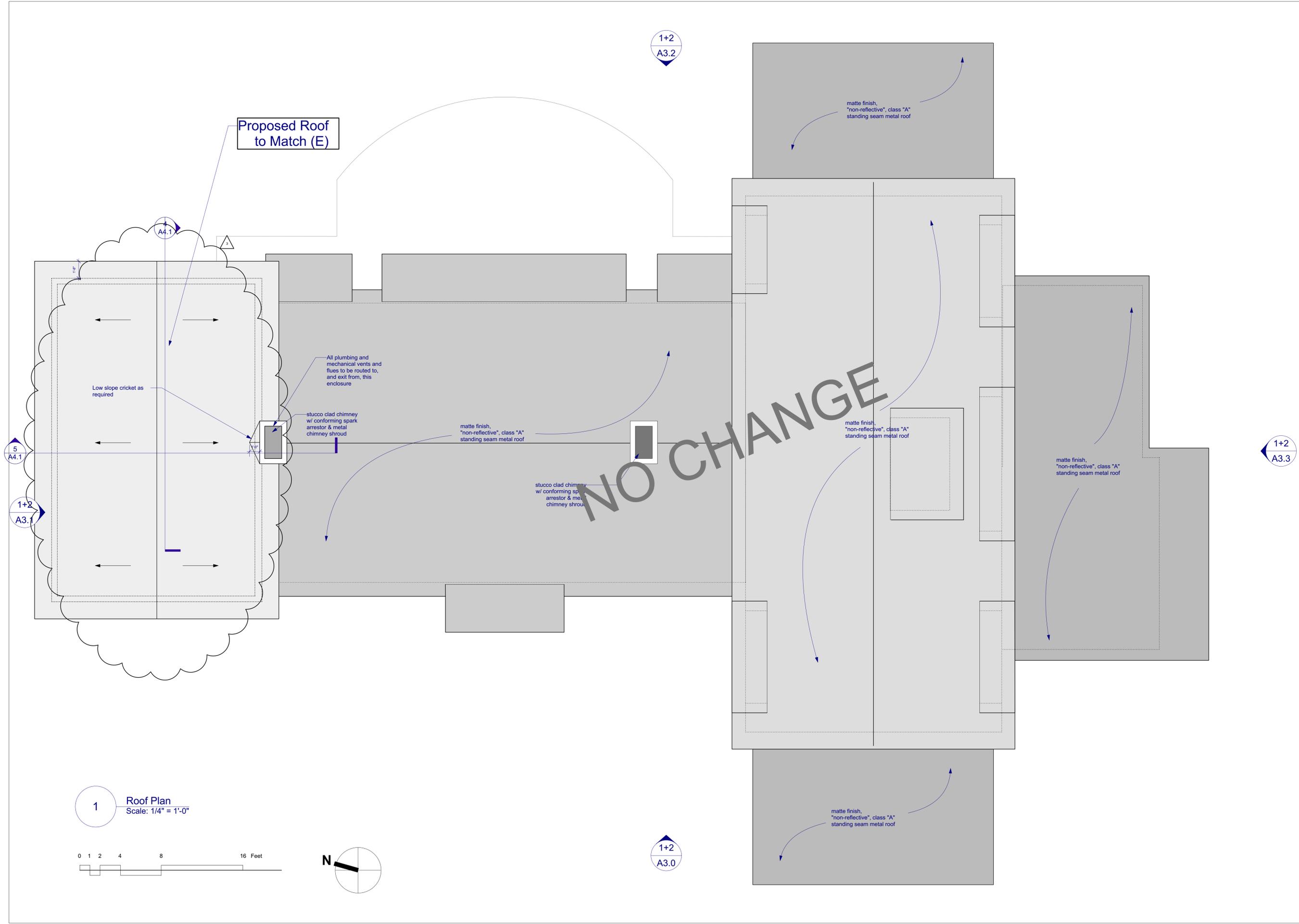
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**Roof Plan**

Sheet No.:  
**A2.3**

Project Title: **Hernandez**  
 Date: **June 08, 2016**





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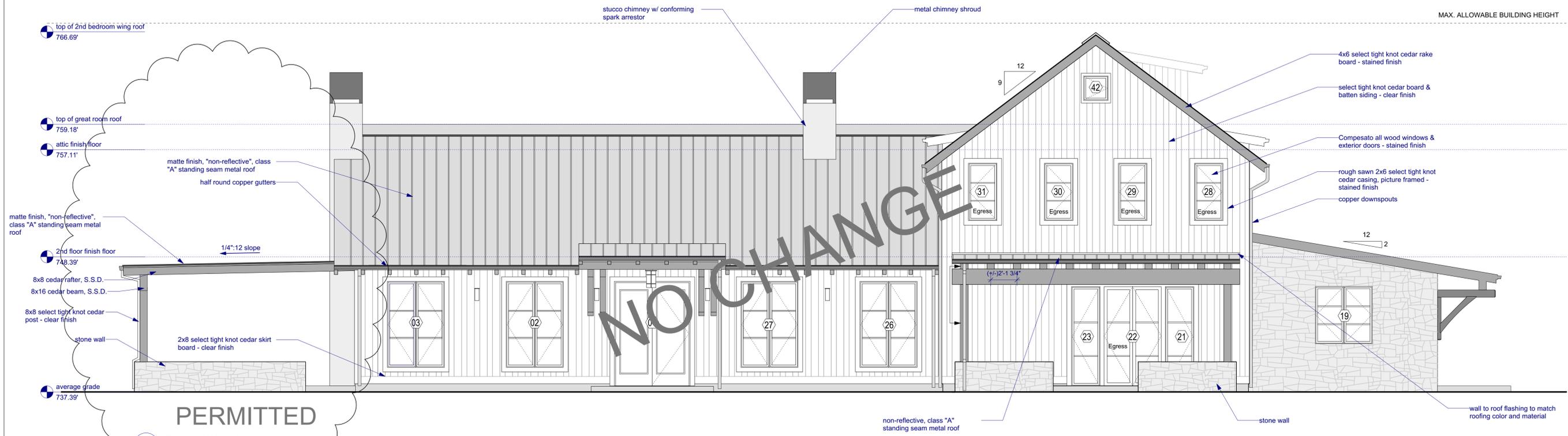
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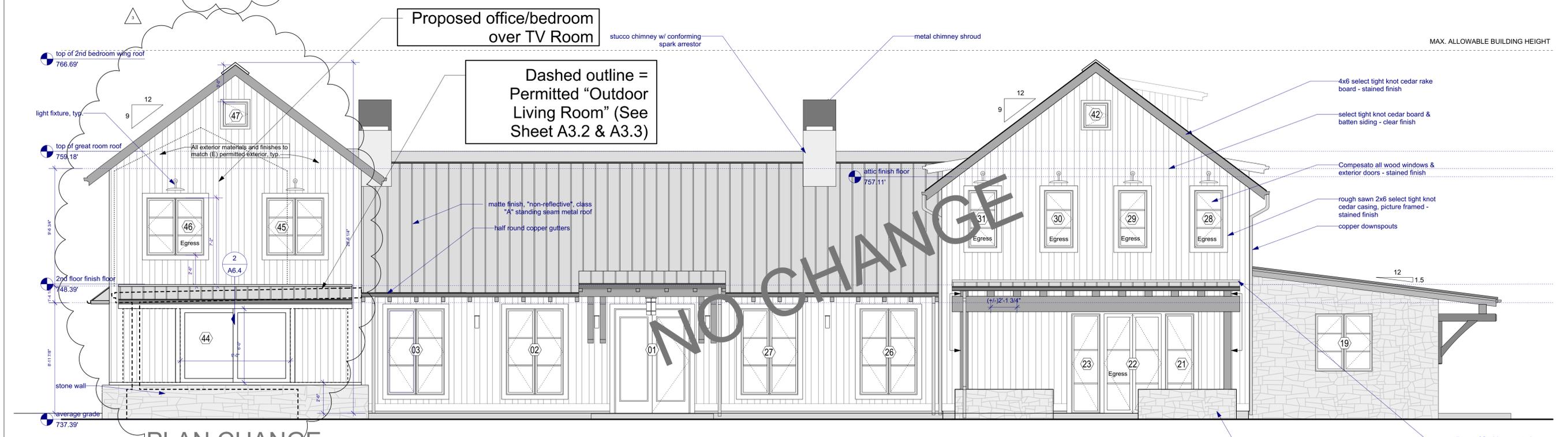
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Sheet Contents:  
 West elev - BEFORE  
 West elev - AFTER

Sheet No.: **A3.0**  
 Project Title: **Hernandez**  
 Date: **June 08, 2016**



**PERMITTED**  
 1 Permitted West elevation  
 Scale: 1/4" = 1'-0"



**PLAN CHANGE**  
 2 Proposed West elevation  
 Scale: 1/4" = 1'-0"



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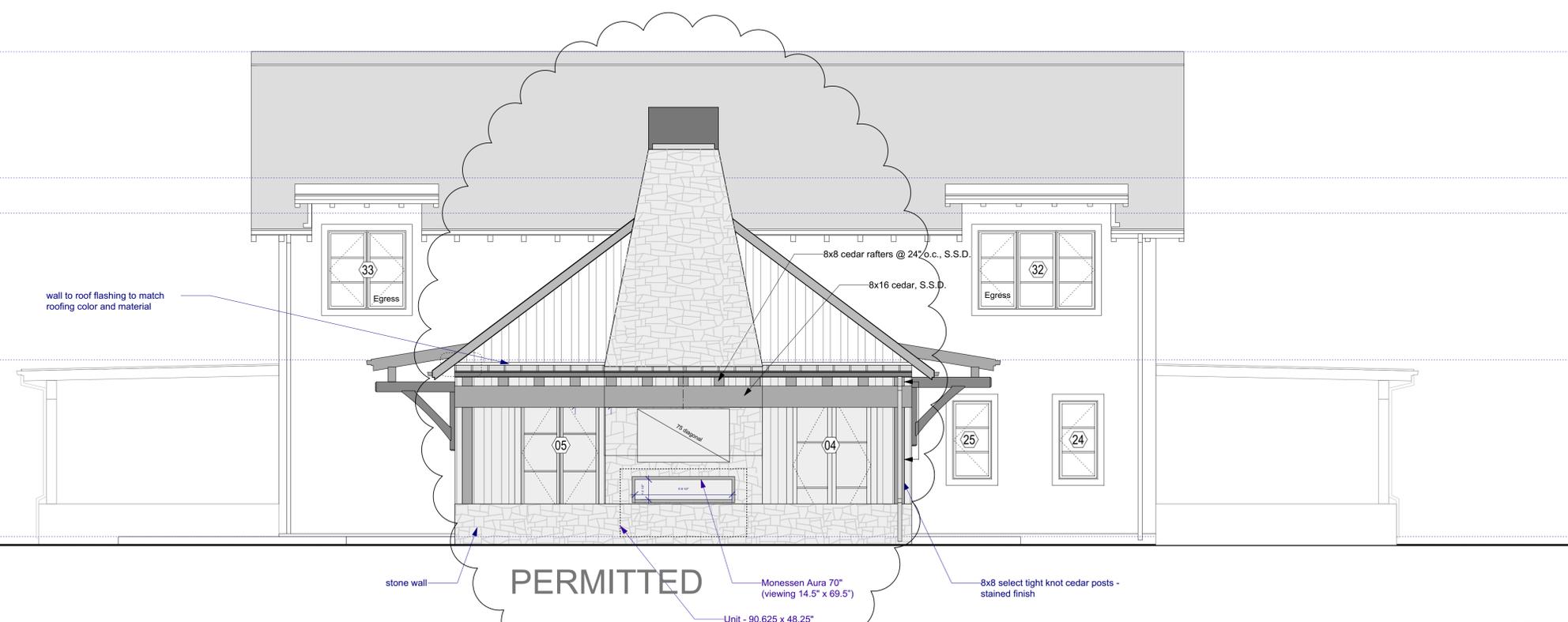
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	R2 - 1/18/16
	R3 - June 8, 2016

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Sheet Contents:  
North elev - BEFORE  
North elev - AFTER

Sheet No.: **A3.1**  
Project Title: **Hernandez**  
Date: **June 08, 2016**

- top of 2nd bedroom wing roof  
766.69'
- top of great room roof  
759.18'
- attic finish floor  
757.11'
- 2nd floor finish floor  
748.39'
- 1st floor finish floor  
737.89'
- average grade  
737.39'

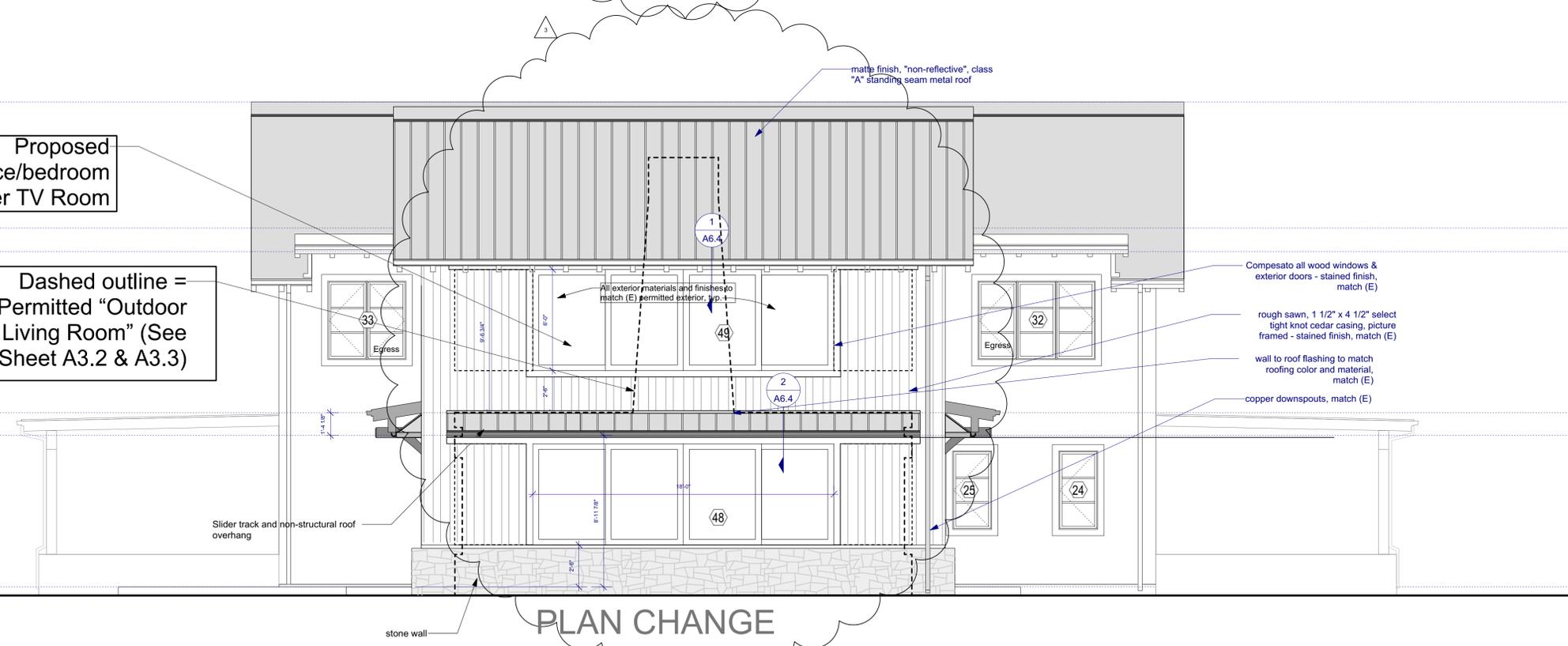


**1 Permitted North elevation**  
Scale: 1/4" = 1'-0"

- top of 2nd bedroom wing roof  
766.69'
- top of great room roof  
759.18'
- 2nd floor finish floor  
748.39'
- 1st floor finish floor  
737.89'
- average grade  
737.39'

**Proposed office/bedroom over TV Room**

**Dashed outline = Permitted "Outdoor Living Room" (See Sheet A3.2 & A3.3)**



**2 Proposed North elevation**  
Scale: 1/4" = 1'-0"



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Sheet Contents:  
East elev - BEFORE  
East elev - AFTER

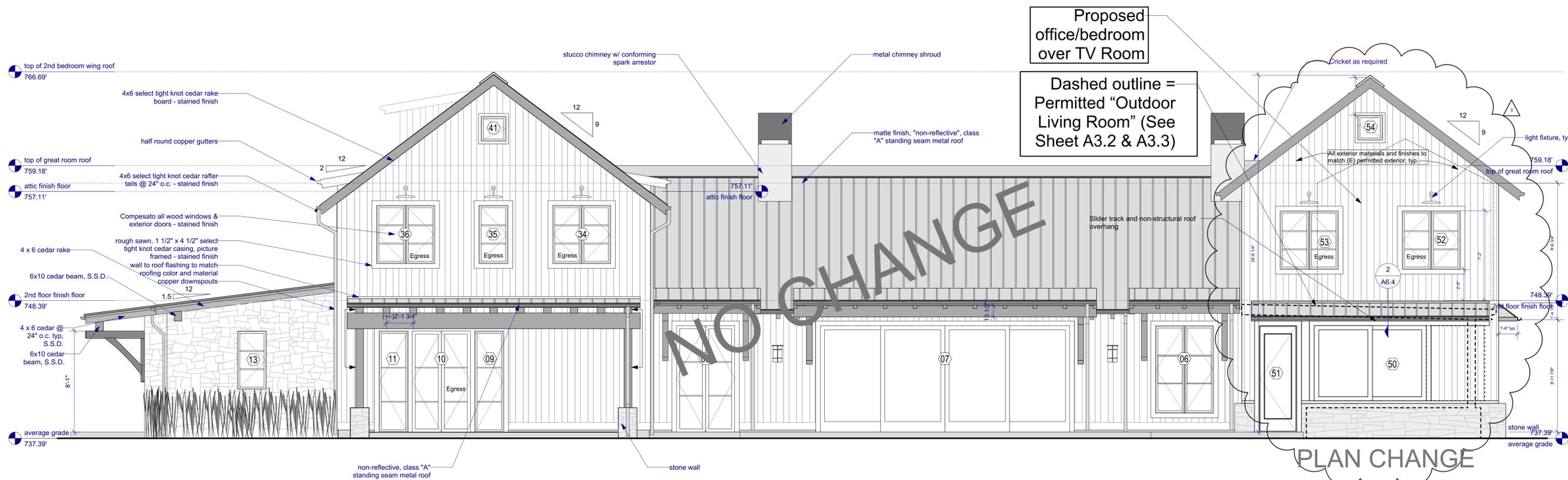
Sheet No.:

**A3.2**

Project Title: **Hernandez**  
Date: **June 08, 2016**



1 Permitted East elevation  
Scale: 1/4" = 1'-0"



2 Proposed East elevation  
Scale: 1/4" = 1'-0"

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Set Type	DESIGN REVIEW SET
Issued To	
Sheet Contents	East elev - BEFORE East elev - AFTER
Sheet No.	
Project Title	Hernandez
Date	June 08, 2016



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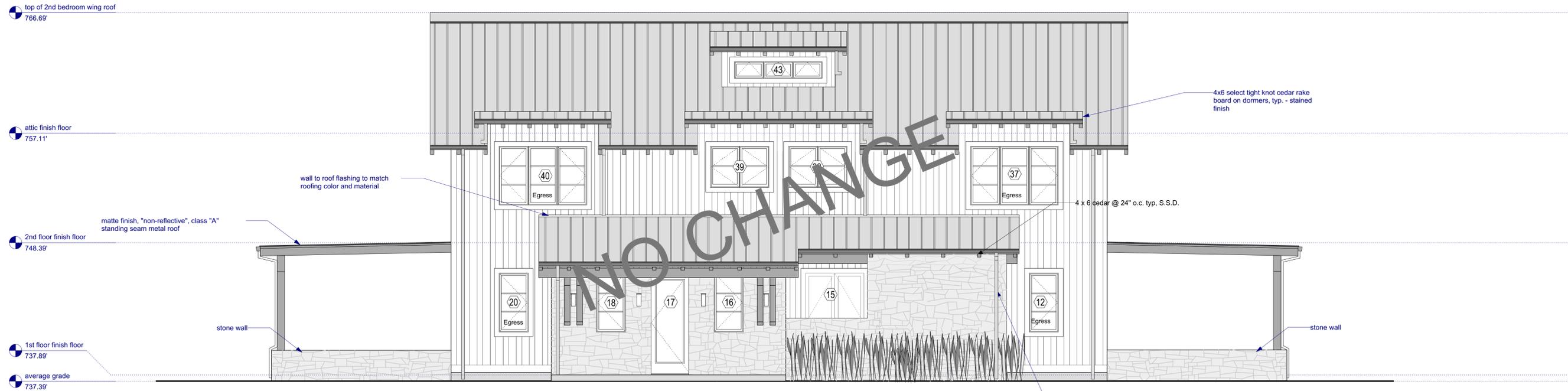
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Set Type: **DESIGN REVIEW SET**

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Sheet Contents:  
South elev - BEFORE  
South elev - AFTER

Sheet No.: **A3.3**  
Project Title: **Hernandez**  
Date: **June 08, 2016**



PERMITTED



1 South elevation  
Scale: 1/4" = 1'-0"



SAME



2 South elevation  
Scale: 1/4" = 1'-0"



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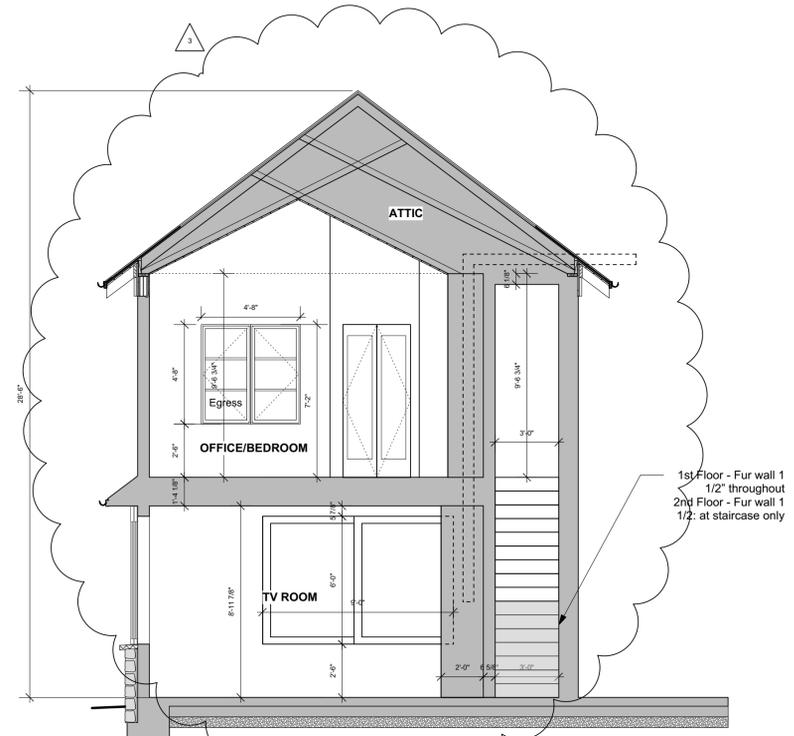
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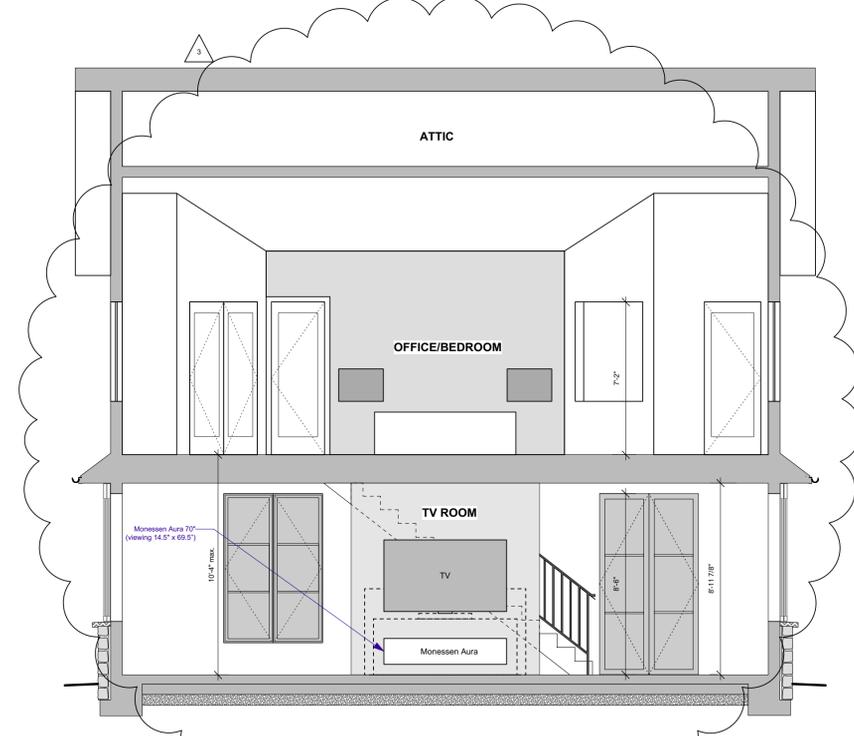
Sheet Contents:  
**Sections**

Sheet No.:  
**A4.1**

Project Title:  
**Hernandez**  
Date:  
**June 08, 2016**



5 Transverse section  
Scale: 1/4" = 1'-0"



4 Longitudinal section  
Scale: 1/4" = 1'-0"



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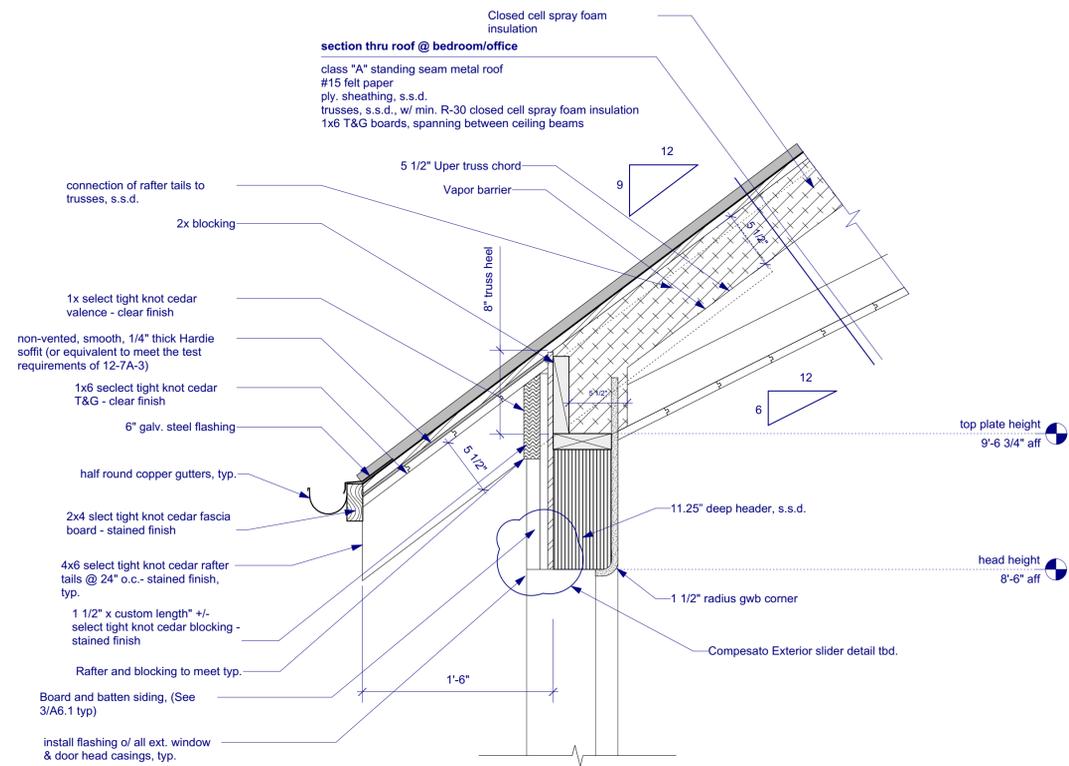
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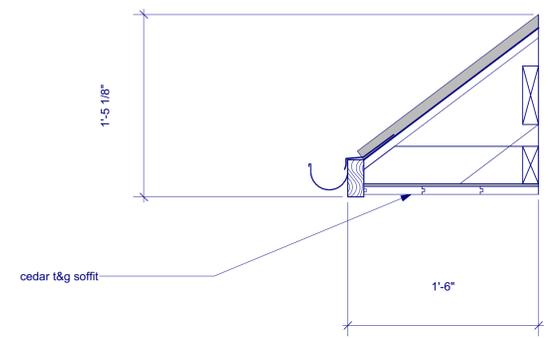
Sheet No.

**A6.4**

Project Title  
Hernandez  
Date  
June 08, 2016



1 section thru eave @ Bedroom/Office  
Scale: 1 1/2" = 1'-0"



2 section thru Sliding Window roof  
Scale: 1 1/2" = 1'-0"

**GRADING NOTES:**

- SITE SHALL BE VISUALLY INSPECTED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF CLEARING, GRUBBING AND GRADING WORK TO BE DONE PRIOR TO BEGINNING CONSTRUCTION.
- THE ELEVATIONS GIVEN ON THIS PLAN ARE APPROXIMATE ONLY, AND ARE FOR THE ROUGH LAYOUT OF GRADING AND DRAINAGE IMPROVEMENTS. SOIL REQUIREMENTS PERTAINING TO COMPACTION, CONSOLIDATION, CONSTRUCTION, AND STABILITY ARE PER SOILS ENGINEERS RECOMMENDATIONS. DISCREPANCIES BETWEEN THE SOILS ENGINEERS RECOMMENDATIONS AND THESE PLANS SHOULD BE BROUGHT TO THE ATTENTIONS OF THE PROJECT ENGINEER FOR CLARIFICATION IMMEDIATELY. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL TOPS AND TOES OF SLOPING WALLS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. IT MAY BE NECESSARY TO INSTALL RETAINING WALLS TO CATCH EXISTING SLOPES AND AVOID EXCESS GRADING DURING THE COURSE OF CONSTRUCTION. RETAINING WALLS ARE TO BE DESIGNED BY OTHERS AND APPROVED BY THE NAPA COUNTY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- THIS DRAWING DOES NOT REPRESENT A PROPERTY SURVEY. PROPERTY LINES HAVE BEEN PLOTTED FOR INFORMATIONAL PURPOSES ONLY AND ARE APPROXIMATE.
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF THERE IS A CONFLICT, NOTIFY THE ENGINEER AND OBTAIN A CLARIFICATION. NO DEVIATIONS OR SUBSTITUTIONS SHALL BE ALLOWED WITHOUT OBTAINING WRITTEN APPROVAL FROM THE ENGINEER.
- SHOULD ANY CONTRACTOR OR SUBCONTRACTOR FIND ANY DEFICIENCIES, ERRORS, CONFLICTS OR OMISSIONS IN THESE PLANS AND SPECIFICATIONS OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING OR INTENT, HE SHALL NOTIFY THE ENGINEER FOR A WRITTEN CLARIFICATION, ADDENDUM, ETC. SHOULD HE FAIL TO DO SO BEFORE SUBMITTING A PROPOSAL, HE CANNOT CLAIM ADDITIONAL COMPENSATION FROM OWNER FOR WORK REQUIRED TO COMPLETE THE WORK.
- CONTRACTOR WILL LEAVE THE CONSTRUCTION AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY.
- ALL WORK WILL BE CONDUCTED IN CONFORMANCE WITH CAL-OSHA REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 800-642-2444 PRIOR TO START OF ANY CONSTRUCTION.
- ALL MATERIAL WILL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE COUNTY INSPECTOR, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE EARTH WORK DESIGNATED ON THESE PLANS IS FOR THE GRADING OF MULTIPLE BUILDING SITES, IMPROVING EXISTING DRIVEWAYS, INSTALLING A NEW DRIVEWAY AND CORRESPONDING DRAINAGE REQUIREMENTS. ALL EXCAVATED SOILS ARE TO BE PROTECTED FROM EROSION AS SHOWN ON PLANS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PLACEMENT OF ALL SPOILS IN A MANNER CONFORMING TO OWNER, ENGINEER, LOCAL, STATE & FEDERAL REQUIREMENTS.
- ALL EROSION CONTROL MEASURES WILL BE PROVIDED BY OTHERS.

**DESIGN EROSION CONTROL NOTES:**

- GRADING ON THE SITE WILL BE LIMITED TO THE EXCAVATION SHOWN ON THE PLAN.
- SILT FENCE OR STRAW BALE SEDIMENT BARRIERS WILL BE INSTALLED PRIOR TO ANY GRADING ON THE SITE AND WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH, UNTIL VEGETATION IS FULLY RESTORED.
- ALL MOVEMENT OF EARTH SHALL COMPLY WITH ST. HELENA SPECIFICATIONS, AND THE EROSION CONTROL PLAN SHALL BE STRICTLY ADHERED TO.
- CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF THE CITY INSPECTOR AND THE CIVIL ENGINEER.
- BETWEEN OCTOBER 15TH AND APRIL 15TH, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.
- THE CONTRACTOR WILL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.
- THE SOIL TYPE ARE AIKEN LOAM, AVERAGE 0-50 PERCENT SLOPES
- CONTOUR INTERVAL: MAJOR - 10 FT., MINOR - 2 FT (SEE HORZ. & VERT. DATUM NOTE THIS SHEET)
- ALL SITE INSPECTIONS SHALL BE MADE WITH 48 HOURS NOTICE. THE CONTACT PERSON FOR SITE INSPECTIONS SHALL BE CAMERON PRIDMORE AT (707) 815-0988.
- THE "SAINT HELENA" QUADRANGLE, LOCATED IN TOWNSHIP 8 NORTH, RANGE 6 WEST, WAS USED FOR THIS PROJECT.
- THE NEAREST BLUE LINE STREAM IS LOCATED APPROXIMATELY 4200' WESTERLY FROM THE PROJECT SITE AND IS CALLED YORK CREEK.

**STANDARD EROSION CONTROL NOTES:**

- THE PROPERTY OWNER OR HIS/HER DESIGNEE MUST UNDERSTAND ALL PARTS OF THESE CONDITIONS AND MUST MAINTAIN THE CONSTRUCTION SITE IN COMPLIANCE DURING ALL PHASES OF CONSTRUCTION.
- PREVENTATIVE STORMWATER POLLUTION/EROSION CONTROL MEASURES MUST BE IN PLACE AND EFFECTIVE PRIOR TO PREDICTED RAINFALL. STORMWATER CONVEYANCE WAYS FROM ANY ILLICIT DISCHARGE RESULTING FROM ACTIVITIES RELATED TO THE ABOVE NAMED PERMIT. GRADING ON SLOPES GREATER THAN 5% BETWEEN OCTOBER 15 AND APRIL 15 REQUIRES AN EXTENSION.
- IMPLEMENT EFFECTIVE EROSION CONTROL MEASURES, AS APPROPRIATE, TO PROTECT EXPOSED SOILS FROM BEING DETACHED BY RAINFALL, FLOWING WATER, OR WIND. EROSION CONTROL MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO: STRAW MULCH, FIBER MAT BLANKETS, BONDED FIBER MATRIX, SOIL COMPACTION, AND TEMPORARY AND PERMANENT VEGETATION.
- IMPLEMENT SEDIMENT CONTROL MEASURES, AS APPROPRIATE, TO TRAP SOIL PARTICLES AFTER THEY HAVE BEEN DETACHED AND MOVED BY RAIN, FLOWING WATER, OR WIND. EXAMPLES OF SEDIMENT CONTROL MEASURES THAT MAY BE USED INCLUDE, BUT ARE NOT LIMITED TO: FIBER ROLLS, SILT FENCE, CHECK DAMS, AND STORM DRAIN INLET PROTECTION.
- MAINTAIN A DESIGNATED WASHOUT AREA TO REMOVE SEDIMENT AND CHEMICAL POLLUTANTS THAT MAY BE PRODUCED FROM CLEANING TOOLS AND MACHINERY. A WASHOUT AREA IS A TEMPORARY WASH BASIN SUFFICIENT IN SIZE TO ALLOW WASH WATER TO POND AND ALLOW THE SEDIMENTATION AND DISPOSAL OF PARTICLES THAT HAVE BEEN RINSED OFF OF PROJECT EQUIPMENT. POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: PAINT, CEMENT, STUCCO, ETC.
- PROPERLY MAINTAIN ALL LITTER, DUMPS, OR STOCKPILES IN SUCH A MANNER THAT THEY WILL NOT RESULT IN A CONTAMINATED DISCHARGE.
- ALL ENTRANCES/EXITS OF A PROJECT SITE SHALL BE PROTECTED BY A SURFACE THAT WILL ENSURE ANY VEHICLES LEAVING THE CONSTRUCTION SITE WILL NOT TRACK SEDIMENT ONTO ANY PUBLICLY MAINTAINED ROADWAYS.
- THE PROPERTY OWNER SHALL INFORM ALL INDIVIDUALS, WHO WILL TAKE PART IN THE CONSTRUCTION PROCESS, OF THESE REQUIREMENTS.
- A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) EROSION CONTROL PLAN (ECP) HAS BEEN OR WILL BE PREPARED FOR THIS PROJECT AND SHALL BE KEPT ON SITE DURING CONSTRUCTION WITH THE ONSITE SUPERVISOR. ALL STORMWATER EVENTS SHALL BE TRACKED USING THE STORMWATER INSPECTION FORM INCLUDED IN THE SQMP. ALL LABOR SHALL BE PROPERLY TRAINED IN ALL STORMWATER MANAGEMENT TOPICS APPLICABLE TO THEIR TRADE, AND THE ONSITE SUPERVISOR SHALL UPDATE THE STORMWATER EMPLOYEE/CONTRACTOR TRAINING FORM ON A DAILY BASIS. PLEASE CONTACT NAPA COUNTY PUBLIC WORKS DEPARTMENT FOR IMPLEMENTATION ASSISTANCE.
- PLEASE NOTIFY THE CITY OF SAINT HELENA'S STORMWATER INSPECTOR AT (707-968-2658) 48 HOURS PRIOR TO BEGINNING ANY EARTHMOVING ACTIVITIES RELATED TO THE ABOVE NAMED PERMIT.

**SEEDING SPECIFICATIONS & SCHEDULES:**

- ALL GRADED OR DISTURBED AREAS SHALL BE SEEDED AS FOLLOWS:

**INTERIM MEASURES:** SPREAD STRAW MULCH OVER ALL EXPOSED EARTH SURFACES WHEN CHANCE OF RAIN IS OVER 40%, AS DETERMINED BY NOAA, PER APPLICATION SCHEDULE.

**WINTERIZING MEASURES:** PLACE EROSION CONTROL MEASURES AS SHOWN ON THE SQMP OR SWPPP PRIOR TO RAINS AND NO LATER THAN OCT. 15. COVER NEWLY SEEDED AREAS WITH STRAW MULCH. CALL FOR INSPECTION TO CONFIRM WINTERIZING OF SITE. INSTALL VELOCITY CHECK DAMS AND WATER BARS PRIOR TO OCT. 7th. FINISH WORK AT COMPLETION OF PROJECT.

- THE SEED, FERTILIZER AND MULCH MIXTURE WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW:

MATERIAL	POUNDS PER ACRE:
NAPA VALLEY AG SUPPLY	
NAPA EROSION MIX (OR EQUAL)	75
FERTILIZER (16-20-0)	250
STRAW MULCH	3000-4000

SEED SHALL NOT REMAIN IN THE SLURRY LONGER THAN 30 MINUTES. FERTILIZERS SHALL NOT REMAIN IN THE SLURRY LONGER THAN 2 HRS. AREAS TO BE HYDROSEEDED SHALL BE SCARIFIED TO A DEPTH OF 4" TO 8" AND DRESSED TO PROVIDE A REASONABLY SMOOTH FIRM SURFACE. THE SLURRY SHALL BE APPLIED IN A UNIFORM MANNER AT A RATE THAT IS NON-EROSIVE AND MINIMIZES RUNOFF.

IT MAY BE NECESSARY TO AMEND EARTH SPOILS WITH MULCH & NUTRIENTS TO ENHANCE PLANT GROWTH FOR EROSION PROTECTION. CONTRACTOR TO CONFIRM SUITABILITY OF EARTH SPOILS FOR COVER CROP (GRASS) PRIOR TO FINAL PLACEMENT OF MATERIALS.

**UNAUTHORIZED CHANGES & USES:**

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGNER OF THESE PLANS.

**PROPERTY LINES:**

THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.

**HORIZONTAL & VERTICAL DATUM:**

THIS TOPOGRAPHICAL MAP IS BASED ON AERIAL AND FIELD SURVEY INFORMATION PERFORMED BY CARTWRIGHT AERIAL SURVEYS, ALBION SURVEYS, & CMP CIVIL ENGINEERING & LAND SURVEYING. CONTOURS ARE SHOWN AS FOLLOWS: MAJOR =10', MINOR =2'.

**TREE NOTE**

- TREE TO BE REMOVED =

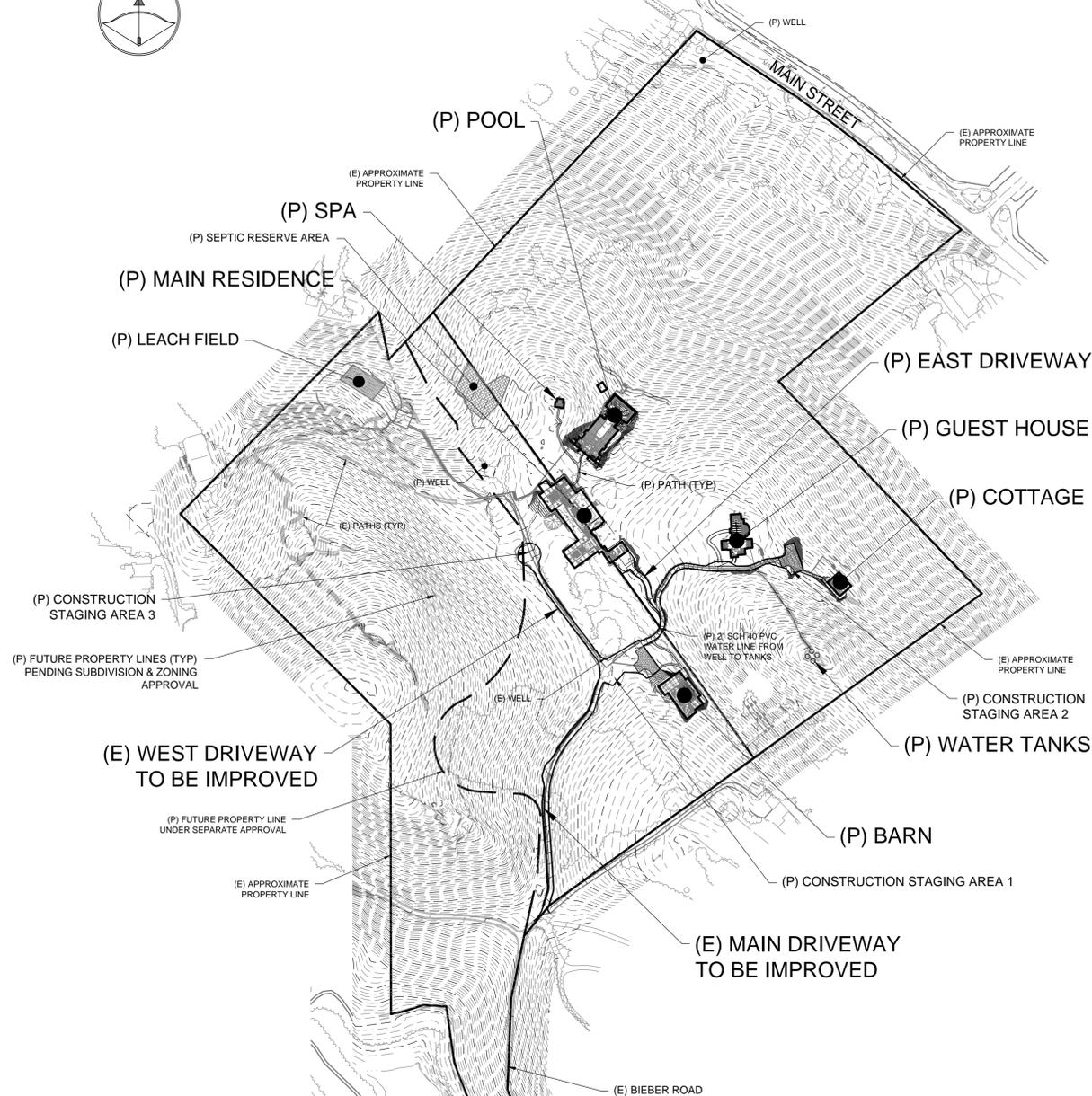
**PROJECT GRADING SUMMARY**

- TOTAL DISTURBED AREA = 3.86 AC
- TOTAL CUT = 6676 CY
- TOTAL FILL = 2655 CY
- TOTAL NET = 4021 CY

# DESIGN REVIEW GRADING AND DRAINAGE PLAN

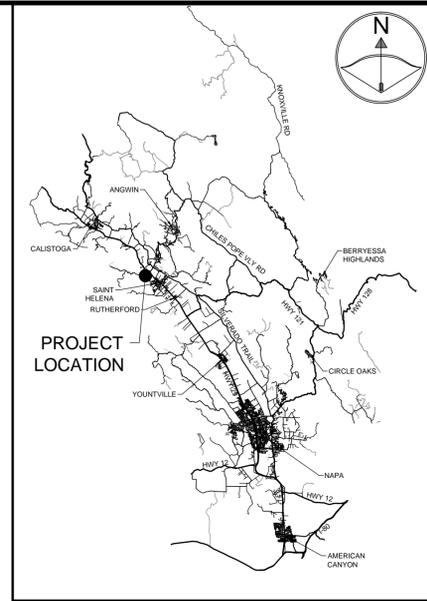
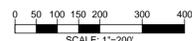
## FOR THE HERNANDEZ RESIDENCE

LOCATED AT  
2500 SPRING MOUNTAIN ROAD  
ST. HELENA, CA 94574



### SITE PLAN

SCALE 1" = 200'



VICINITY MAP  
NTS

### SHEET INDEX

SHT. #	DESCRIPTION
C1	TITLE
C2	MAIN DRIVEWAY PLAN & PROFILE 1
C3	MAIN DRIVEWAY PLAN & PROFILE 2
C4	MAIN DRIVEWAY PLAN & PROFILE 3
C5	WEST DRIVEWAY PLAN & PROFILE
C6	EAST DRIVEWAY PLAN & PROFILE
C7	MAIN HOUSE GRADING & DRAINAGE PLAN
C8	GUEST HOUSE GRADING & DRAINAGE PLAN
C9	COTTAGE GRADING & DRAINAGE PLAN
C10	POOL GRADING & DRAINAGE PLAN
C11	BARN GRADING & DRAINAGE PLAN
C12	SPA / WATER TANKS GRADING & DRAINAGE PLANS
C13	WASTEWATER LOCATION PLAN

**OWNER**  
HERNANDEZ FAMILY TRUST  
1411 DIAMOND MOUNTAIN ROAD  
CALISTOGA, CA 94515

**CIVIL ENGINEER**  
CMP CIVIL ENGINEERING & LAND SURVEYING  
1607 CAPELL VALLEY ROAD  
NAPA, CA 94558  
(707) 815-0988  
CAMERON@CMPENGINEERING.COM

**ARCHITECT**  
BACKEN, GILLAM, KROEGER ARCHITECTS  
2352 MARINSHIP WAY  
SAUSALITO, CA 94965  
(415) 289-3860

**STRUCTURAL ENGINEER**  
IDS ENGINEERING, INC.  
6280 WEST LAS POSITAS BLVD., SUITE 201  
PLEASANTON, CA, 94588  
(925) 399-7001

**SOILS ENGINEER**  
RGH CONSULTANTS  
P.O. BOX 10830  
NAPA, CA 94559  
707.252.8105

**SURVEYOR**  
ALBION SURVEYS, INC.  
1113 HUNT AVENUE  
ST. HELENA, CA 94574  
(707) 963-1217  
CONTACT: STEPHEN STEWART



PREPARED BY:  
CAMERON PRIDMORE PE, PLS  
1607 CAPELL VALLEY ROAD  
NAPA, CA 94558  
(707) 815-0988  
CAMERON@CMPENGINEERING.COM  
PROJECT #: 00064 DATE: APRIL 2013

REV. #	DESCRIPTION	DATE
1	PROPERTY LINE & WELL LOCATION	12/18/13
2	WATER TANK & GUEST HOUSE WATER	4/29/14

PROJECT INFO:  
HERNANDEZ RESIDENCE  
2500 SPRING MOUNTAIN ROAD  
ST. HELENA, CA 94574  
APN: 009-131-002 & 043

TITLE

SHEET NAME:  
SHEET:  
C1

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & REMARKS
A	ACER PALMATUM 'SANGOKAKU'	CORAL BARK MAPLE		24" BOX
B	ACER PALMATUM 'VIRIDIS'	VIRIDIS MAPLE		24" BOX
C	ARBUTUS MARINA	STRAWBERRY TREE		24" BOX, MULTI
D	ARCTOSTAPHYLOS DENSIFLORA	SHRUB MANZANITA		15 GAL
E	ARCTOSTAPHYLOS 'EMERALD CARPET'	TRAILING MANZANITA		1 GAL
F	CALAMAGROSTIS FOLIOSA	CALIFORNIA FEATHER GRASS		1 GAL
G	CEANOTHUS 'TILDEN PARK'	CALIFORNIA LILAC		5 GAL
H	CERATOSTIGMA WILMOTTIANUM	CHINESE PLUMBAGO		1 GAL
J	CORNUS KOUSA	KOUSA DOGWOOD		24" BOX
K	EPILOBIUM CANUM	CALIFORNIA FUCHSIA		1 GAL
L	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA		5 GAL
M	LOROPETALUM C. 'RUBRUM'	CHINESE FRINGE FLOWER		5 GAL
N	MAGNOLIA STELLATA	STAR MAGNOLIA		24" BOX
P	OLEA 'LITTLE OLLIE'	DWARF OLIVE		5 GAL
Q	PISTACEA CHINENSIS	CHINESE PISTACHE		5 GAL
R	PUNICA GRANATUM 'NANA'	DWARF POMEGRANATE		36" BOX
S	SALVIA 'BLACK AND BLUE'	BLUE FLOWERING SAGE		5 GAL
T	TEUCRIUM CHAMAEDRY'S 'PROSTRATUM'	PROSTRATE GERMANDER		5 GAL

PLANTING NOTES:

- PRESERVE AND PROTECT NATURAL AREAS THAT ARE NOT AFFECTED BY PROPOSED CONSTRUCTION OR ASSOCIATED EARTH WORK.
- ALL PROPOSED PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND WILL BE REJECTED IF NOT IN CONFORMANCE WITH INDUSTRY STANDARDS. PLANTS SHALL BE PRUNED PRIOR TO INSPECTION.
- THE PLANT COUNT SHALL GOVERN IF ANY DISCREPANCY IS FOUND BETWEEN THE PLANT COUNT AND THE PLANTING PLAN(S).
- PLANTING AREAS SHALL BE CLEARED OF ALL WEEDS AND DEBRIS PRIOR TO SOIL PREPARATION. IN THE CASE OF PERNICIOUS PERENNIAL WEEDS, A SYSTEMATIC HERBICIDE SHALL BE APPLIED PRIOR TO CLEARING. IF PARTICULARLY DIFFICULT WEEDS SUCH AS WILD ONION ARE ENCOUNTERED, THE LANDSCAPE ARCHITECT AND OWNERS SHALL BE ADVISED PRIOR TO PROCEEDING.
- ALL PLANTING OPERATIONS SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND CULTIVATE 2 INCHES OF NITROLIZED FIR BARK AND 1 INCH OF 3/16" MINUS LAVA STONE INTO THE TOP 6 INCHES OF ALL PLANTING AREAS. ROTOTILL IN LIFTS AS REQUIRED, OR HAND WORK NEAR ROOT SYSTEMS OF EXISTING TREES.
- ALL PLANT MATERIAL SHALL BE DELIVERED TO THE JOBSITE FOR INSPECTION. PRIOR TO PLANTING, THE CONTRACTOR SHALL CONFIRM LOCATIONS OF ALL PLANTS WITH THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL GIVE 3 DAYS NOTICE OF PLANT DELIVERY AND PLACEMENT.
- ON COMPLETION OF PLANTING AND IRRIGATION INSTALLATION, ALL PLANTED AREAS SHALL RECEIVE A UNIFORM LAYER OF 2 INCHES OF FIR BARK WOOD MULCH. CONTRACTOR SHALL PROVIDE A SAMPLE OF MULCH PRIOR TO ORDERING.
- THE LANDSCAPE CONTRACTOR SHALL MAKE NO CHANGES TO THE PLANT LAYOUT WITHOUT CONSENT OF THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW PLANTINGS FOR A 6 MONTH PERIOD OR UNTIL THERE IS EVIDENCE OF POSITIVE GROWTH. THE GUARANTEE PERIOD SHALL BEGIN AFTER FINAL INSPECTION AND APPROVAL.
- ANY PLANTS THAT DIE OR ARE DAMAGED SHALL BE REPLACED IMMEDIATELY.

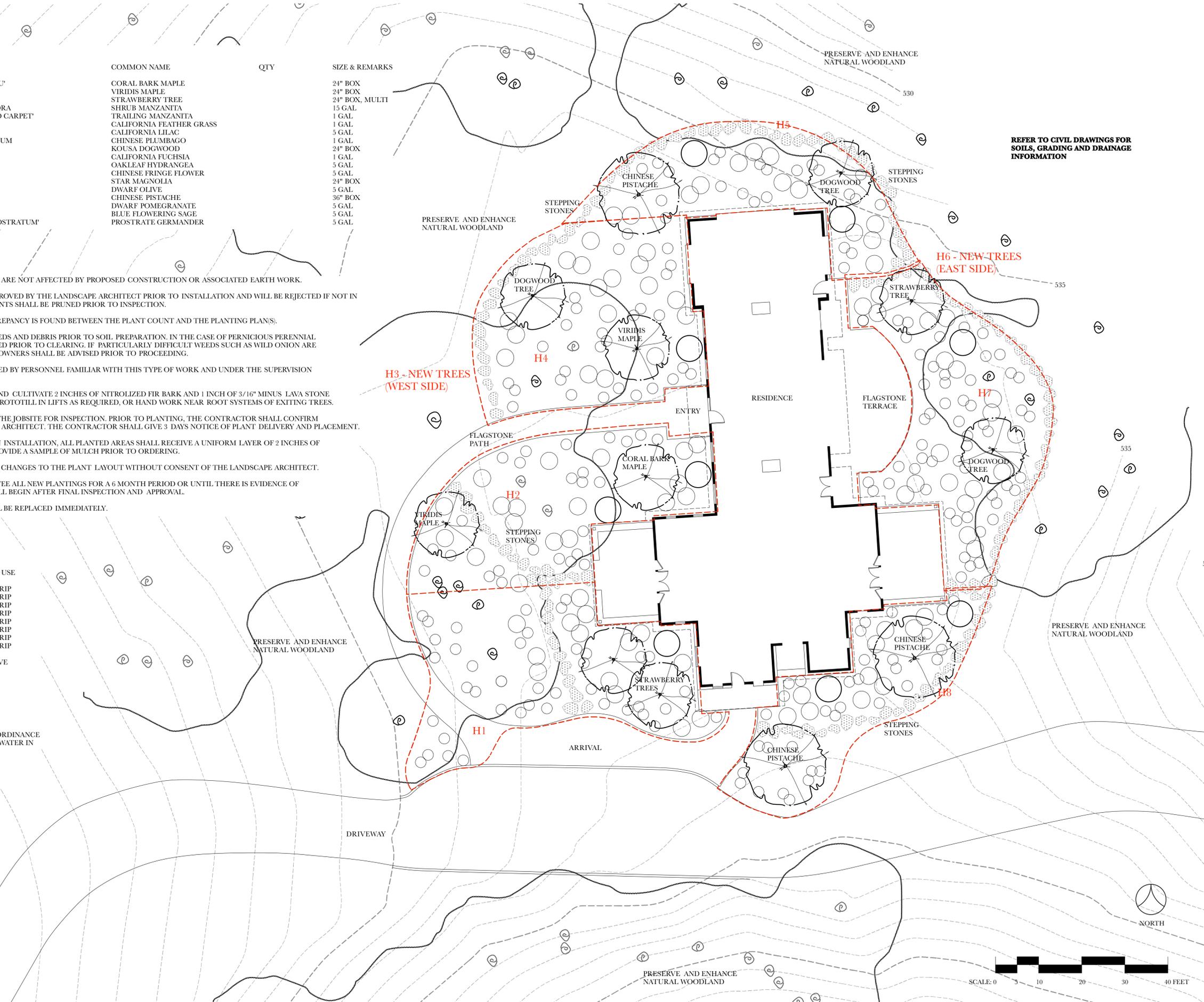
HYDROZONES

NUMBER	DESCRIPTION	WATER USE
H1	LOW DENSITY PLANTING	LOW/DRIP
H2	LOW DENSITY PLANTING	LOW/DRIP
H3	NEW TREES (WEST SIDE)	LOW/DRIP
H4	LOW DENSITY PLANTING	LOW/DRIP
H5	LOW DENSITY PLANTING	LOW/DRIP
H6	NEW TREES (EAST SIDE)	LOW/DRIP
H7	LOW DENSITY PLANTING	LOW/DRIP
H8	LOW DENSITY PLANTING	LOW/DRIP

HYDROZONE NUMBERS CORRESPOND WITH VALVE NUMBERS ON IRRIGATION PLAN.

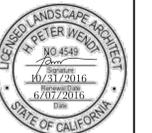
STATEMENT OF COMPLIANCE:

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



REFER TO CIVIL DRAWINGS FOR SOILS, GRADING AND DRAINAGE INFORMATION

ISS'D FOR PERMIT  
6.07.2016



DATE: 6.07.16

SCALE: 1" = 10'

DRAWN:

CHECKED: HPW

SHEET:

**L 1.0**

**IRRIGATION LEGEND**

KEY	MAKE	MODEL NUMBER	DESCRIPTION
	RAINBIRD	PESB-PRS-D 1", 1 1/2"	AUTOMATED SCRUBBER VALVE / PRESSURE REGULATING FIPT BRASS GATE VALVE
	STOCKHAM	B110 - 2"	
	RAINBIRD	3/4"	BRASS HOSE BIB ON 2'-0" GALVANIZED METAL STAKE
	RAINBIRD	SXB-180, 360 SPYK	XERI BUBBLER W/ 5 SPIKES PER TREE
	RAINBIRD	LD-16MM 00-500 W/FITTINGS DT-025-100 XB-05, 10, 20	16MM DISTRIBUTION TUBING W/ 1/4" VINYL DISTRIBUTION TUBING 0.5, 1.0, 2.0 GPH XERI BUG EMITTERS
	EPCO/EQUAL	SCHEDULE 40 PVC 1 1/2"	MAINLINE (18" COVER)
	EPCO/EQUAL	CLASS 300 PVC - 1 1/4", 1"	LATERAL LINE (12" COVER)
	EPCO/EQUAL	SCHEDULE 40 PVC - 6"	SLEEVE (24" COVER)
	RAINBIRD	CONTROLLER	8 STATION W/ RAIN SENSOR AND SUN-SYNC

**IRRIGATION NOTES**

- LAYOUT OF PIPING, VALVES AND HEADS IS DIAGRAMMATIC AND MAY BE FIELD ADJUSTED FOR OPTIMUM COVERAGE AND EASE OF INSTALLATION AND MAINTENANCE. LAYOUT OF THE MAIN LINE, LATERALS AND VALVES IS FOR VISUAL CLARITY AND SHOULD BE LOCATED IN PLANTING BEDS AT ALL TIMES. PARALLEL PIPES IN A COMMON TRENCH SHOULD HAVE 3" MIN. HORIZONTAL SEPARATION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE SLEEVE LOCATIONS, WATER PRESSURE, CONTROLLER LOCATION, AND EXISTING UNDERGROUND UTILITIES AND STRUCTURES WITH FDC PRIOR TO ANY EXCAVATION. ALL DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF THIS WORK SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE 18" OF COVER OVER MAIN LINES AND 12" OF COVER OVER LATERALS. ALL TRENCHING WITHIN OR NEAR THE DRIPLINES OF EXISTING TREES SHALL BE APPROVED BY THE ARBORIST PRIOR TO PROCEEDING.
- ALL BACKFILL MATERIAL SHALL BE CLEAN AND FREE OF ROCKS AND DEBRIS AND SHALL BE COMPACTED TO ORIGINAL SOIL DENSITY. SLEEVES SHALL EXTEND 12" BEYOND PAVING EDGES.
- THE CONTRACTOR SHALL MAINTAIN AN ACCURATE AS-BUILT DRAWING OF THE INSTALLED SYSTEM AND PROVIDE IT TO THE OWNER UPON COMPLETION OF THE WORK.

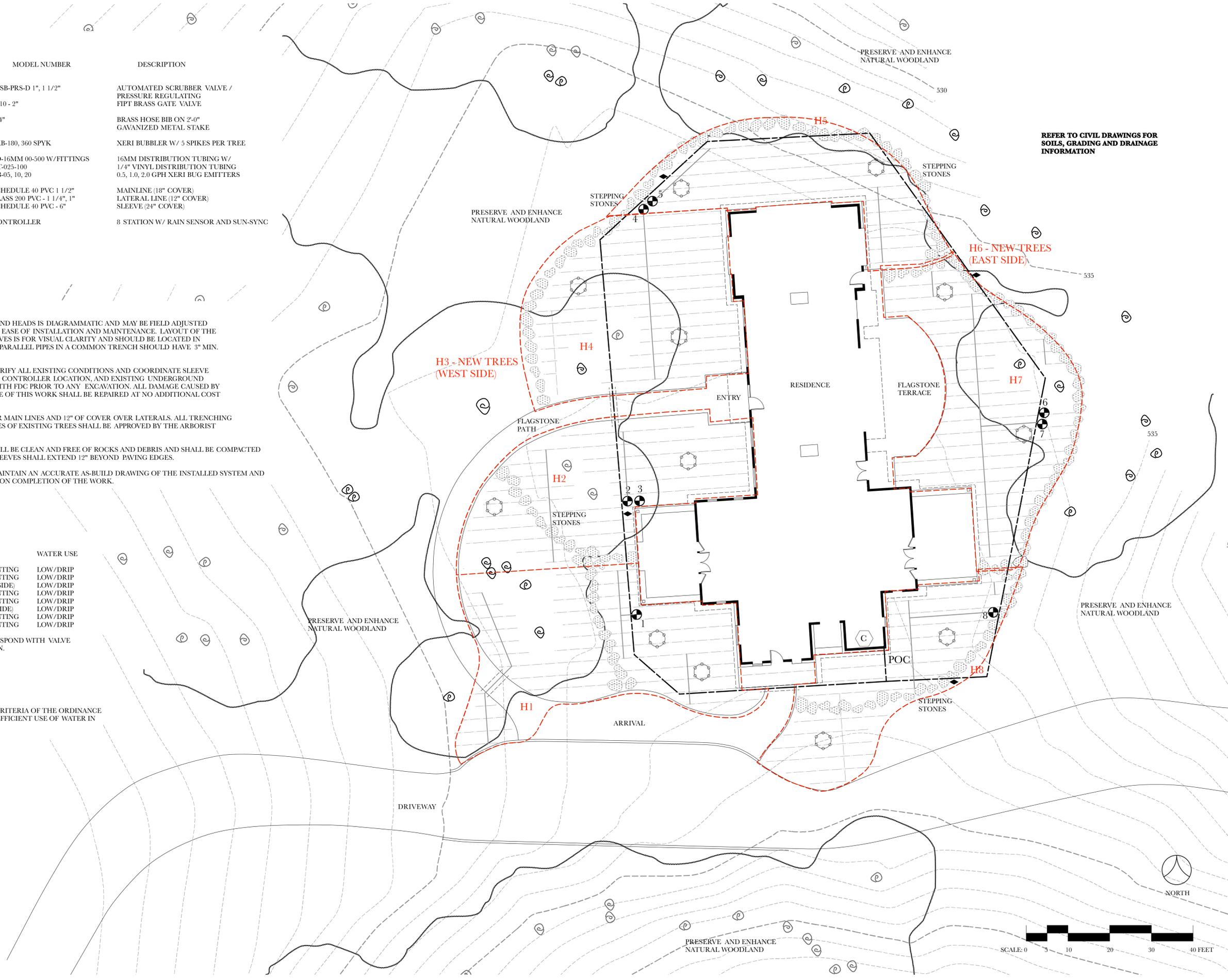
**HYDROZONES**

NUMBER	DESCRIPTION	WATER USE
H1	LOW DENSITY PLANTING	LOW/DRIP
H2	LOW DENSITY PLANTING	LOW/DRIP
H3	NEW TREES (WEST SIDE)	LOW/DRIP
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H5	LOW DENSITY PLANTING	LOW/DRIP
H6	NEW TREES (EAST SIDE)	LOW/DRIP
H7	LOW DENSITY PLANTING	LOW/DRIP
H8	LOW DENSITY PLANTING	LOW/DRIP

HYDROZONE NUMBERS CORRESPOND WITH VALVE NUMBERS ON IRRIGATION PLAN.

**STATEMENT OF COMPLIANCE:**

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



REFER TO CIVIL DRAWINGS FOR SOILS, GRADING AND DRAINAGE INFORMATION

**CITY OF ST. HELENA  
PLANNING DEPARTMENT 1480 MAIN STREET-ST. HELENA, CA 94574  
PLANNING COMMISSION  
MARCH 4, 2014**

**AGENDA ITEM: 9.1**

**2012-86:** Request of the Hernandez Family Trust to approve a General Plan Amendment, Rezoning, Use Permit, Variance, Lot Line Adjustment and Design Review to construct a 18,188 sf single-family residence, a detached 4,222 sf guest house, a detached 1,772 sf guest cottage, a detached barn with an olive oil processing facility, improvements to existing Bieber Road, construction of on-site driveways, water storage tanks, an on-site septic system and grading the site to accommodate proposed improvements on the 62.5 acre property located at 2500 Spring Mountain Road.

**PREPARED BY:** Greg Desmond, Interim Planning Director, Jerry Haag, Consulting Planner

**APPLICATION FILED:** 11/15/12

**ACCEPTED AS COMPLETE:** 11/18/13

**LOCATION OF PROPERTY:** 2500 Spring Mountain Road

**APNs:** 009-131-002 & 131-047-047

**GENERAL PLAN/ZONING:** WW: Woodlands and Watershed

**APPLICANT/OWNER:** Hernandez Family Trust

**PHONE:** (707) 225-4731

**PROJECT LOCATION AND BACKGROUND**

The project site is located in the north western portion of St. Helena. A portion of the site fronts on Main Street. Spring Mountain Road is located south of the site and access to the site is provided by Bieber Road, a private road that serves this site and other residences in the immediate vicinity.

The property is undeveloped and contains wooded slopes around the perimeter. The central area of site, where improvements are proposed, is relatively flat. Natural features on the site include a mixed hardwood forest on the western portion of the site with a single meadow of native and introduced grasses and wildflowers in the central flatter area. Predominant tree species include Coast live oak, California black oak, Douglas fir and Madrone.

Uses to the north (within the unincorporated portion of the County), west and south consist of large, agriculturally zoned parcels, some developed with estate homes and wineries. The Culinary Institute of America's Greystone campus is located to the south and east of the site with agricultural uses located to the immediate east, on the west side of Main Street (SR 29).

Several previous applications for residential development have been filed on this site. Most recently, an application was filed in 2009 to subdivide the site into ten smaller parcels and construct one dwelling per lot. Based on neighborhood concerns, this application was withdrawn.

## **PROJECT DESCRIPTION**

The application includes several requested land use approvals to construct an 18,188 sf, two-story single family dwelling, including a two-car garage, covered porches and terraces with related improvements on two separate parcels totaling 62.5-acres. See the attached project location exhibit.

Requested land use approvals include:

- A General Plan Amendment to change the land use designation for the eastern 43.64-acre portion of the site from Woodlands and Watershed to Agriculture;
- Rezoning of the same portion of the site from the Woodlands and Watershed district to the Twenty-Acre Agriculture (A-20) district;
- A Conditional Use Permit to allow construction of accessory dwellings and agricultural related buildings;
- A Variance to allow the proposed main dwelling to exceed the maximum height established in the Agriculture (A-20) District;
- A Lot Line Adjustment to relocate an existing interior lot line to the west without creating new parcels of land; and
- Design Review approval for the proposed main dwelling, accessory structures, site grading, roadway improvements, limited landscaping and related improvements.

Each component of the application is discussed below.

**General Plan Amendment and rezoning.** The applicant is requesting approval of an amendment to the General Plan Land Use Map to change the designation for the eastern 43.64-acres of the site from "Woodlands and Watershed" to "Agriculture." A re-zoning request has also been filed to ensure that the zoning ordinance would be consistent with the amendment general plan, assuming the GPA is approved. **Attachment 2** shows the requested general plan amendment and associated rezoning areas of the site.

The City Council acted to allow initiation of this Amendment at their March 12, 2013 meeting.

One single-family dwelling per parcel of land is permitted in the A-20 district. Other permitted uses include cultivated agriculture, animal husbandry (including horses, limited to keeping one large animal per one-half acre of lot area).

Related site improvements would include grading of the site to accommodate the proposed dwelling pad, grading for accessory uses, the on-site driveway and improvements to Bieber Road. If approved, the project would require three building permit allocations under the City's Residential Growth Management System.

**Use Permit.** The A-20 District conditionally permits accessory dwellings on a lot with toilet and cooking facilities. The applicant is requesting such an accessory dwelling as a guest house.

The applicant also requests approval to construct an on-site olive oil processing facility that would use olives from the historic olive grove on the site. This is a conditionally permitted use in the A-20 district.

**Variance.** The applicant has requested approval of a variance from Section 17.20.060 (C) that establishes a maximum height of 30 feet for all buildings and structures in the A-20 District.

Portions of the proposed main dwelling would extend to 33'8" above the finished grade, which would exceed the 30 foot maximum height limit in the Agriculture zoning district.

**Lot Line Adjustment.** A Lot Line Adjustment has been requested to relocate an existing north-south lot line that extends through the approximate center of the site and would run through the proposed dwelling, which is not allowed under either the St. Helena Zoning Code or the California Building Code. The existing lot line would be relocated to the west as shown on Attachment 4. If approved, the proposed lot line would be consistent with the amended General Plan and rezoning boundaries.

### **Design Details.**

**Main Residence.** The main residence would include an 18,188 sf, two and a half-story dwelling, oriented toward the western property line and located in the approximate center of the lot. The house would be located on a flat portion of the site that contains minimal tree cover. An attached garage on the lower floor would contain 926 sf. There would be 11,001 sf of decks, balconies and terraces surrounding the main residence.

The residence would have a rustic/agrarian design theme, with a non-reflective corrugated metal roof with gable ends. Vertical board and batten siding would be used along with metal windows framed by wood trim. Stone veneer would be extensively used for chimneys, a portion of the building and to clad the lower floor. Garage doors would be wood clad roll-up doors.

**Guest Residence.** One guest dwelling would be built to the southeast of the main residence. This structure would consist of 4,222 sf of interior living space, non-habitable mechanical areas, storage and similar uses. The building height would be 29'4". The guest residence would be sited in a north-south direction and would be served by an on-site private driveway. Two uncovered parking spaces would be provided.

The design and materials of the guest residence would reflect that of the main residence but would not include the stone veneer feature.

**Guest Cottage.** A detached 1,772 sf two-story cottage is proposed to be located in the southeast corner of the site. The cottage would have a square shape and would reflect the rural/agrarian design theme of the other two dwellings. The cottage would have a height of 30' above finished grade. Open parking spaces would be provided for this residence.

**Pool/Cabana Complex.** A pool and cabana would be located northeast of the main residence. The complex would include two swimming pools, a changing room, a deck area and a spa.

**Barn Complex.** An agricultural barn complex would be located in the south side of the site. The complex would consist of two adjacent structures totaling 3,638 sf. The buildings would reflect the rural/agricultural design theme used elsewhere and would have a height of 30'. Uses within this complex would include an olive press room to process fruit grown on the site and for other functions.

Buildings would be surrounded by an outdoor terrace and an informal amphitheater.

Other proposed project infrastructure improvements would include:

**Landscaping.** The applicant has indicated that existing natural landscaping would be used to the fullest extent feasible, including retention and enhancement of native trees and the olive grove. Minimal, if any, new landscape material would be installed on the site.

On-Site Private Water System. The applicant is proposing an on-site water system on the site that would consist of an existing water well, 30,000 gallons of water storage (as required by the Fire Code) and on-site distribution pipes. The system is proposed to provide both domestic water and fire suppression service for the site. Although the subject properties are within City limits and would normally be required to connect to the City water system, an exception has been granted for this project due to the unique nature of the project.

There would be no use of City of St. Helena municipal water. A condition of approval would require that the water system be in place and operational prior to issuance of building permits.

On-Site Private Wastewater System. An on-site septic system is also proposed to deal with wastewater generated by occupancy of the dwellings. The primary feature of the system would be a leach field to be located in the northern portion of the site. Untreated effluent would be transported to the leach field via a private pressurized sewer system from the various dwellings on the site for treatment and eventual percolation.

A condition of approval would require that the septic system and all appurtenances comply with Napa County Department of Environmental Management requirements for septic systems and that necessary permits be granted prior to building occupancy.

Site Grading. Grading of portions of the site would be required in order to construct the proposed main residences, the guest residence, guest cottage, other buildings and on-site drives. Approximately 3.86-acres of the 62.5-acre total site would be graded (approximately 6%). Approximately 4,000 cubic yards of material would need to be hauled off of the site. The applicant has indicated that site grading would occur in phases, as portions of the complex are constructed. A condition of project approval will require that prior to issuance of a grading permit, the applicant must submit an Excavation Management Plan that identifies amount of material to be hauled off of the site, the receiving site for grading spoils, proposed haul routes, hours of grading operation and specific methods to ensure that no material is spilled on public roads or private properties other than the receiving site.

No grading is proposed on slopes of 30% or greater based on a slope analysis provided by the applicant's civil engineer.

On-Site Driveways. A series of on-site driveways are proposed to access the main residence guest dwellings and barn complex. A service road is also required to access the proposed water tank(s) in the southeastern portion of the site.

The main driveway would generally follow the alignment of an existing unimproved roadway on the site and would be a 12-foot-wide road with an asphalt surface or other compacted surface to meet Fire Department requirements to accommodate the heaviest piece of fire apparatus.

Improvements to the driveway would also require minor grading and installation of drainage improvements. Turnouts would be installed to comply with Fire Department standards.

To provide adequate emergency vehicle access, the applicant proposes to use an existing access drive from Main Street along the east side of the property. This access would remain in its present condition and would not be improved so that it would not become a major accessway.

Bieber Road Upgrade. The applicant is proposing to upgrade portions of Bieber Road, the private road that provides access to the project site and other residences in the area. Bieber Road is a relatively narrow road with a steep bank on the western edge of the driving lane. Proposed improvements, which would be funded by the applicant, include constructing five new turnouts

to facilitate normal vehicular traffic and emergency vehicle and grading back portions of the steep bank to improve sight visibility at turns. Drainage improvements would also be made to the road.

A condition of approval would require the applicant to complete improvements to Bieber Road prior to the issuance of the first building permit for the project. This would ensure that adequate emergency access would be available during project construction as well as for construction traffic.

### **REQUIRED ACTIONS**

1. Determination that the General Plan Amendment and Rezone portion of the project is exempt from the requirements of CEQA pursuant to Section 15061(b)(3). This section exempts activities that can be seen with certainty to have no possibility for causing a significant effect on the environment. The remainder of the project is exempt pursuant to the following statutory exemptions. Section 15303, Class 3 Exemption. This section exempts the construction and location of limited numbers of new structures. The numbers of structures described in this section are the maximum allowable on any legal parcel or to be associated with a project within a two-year period. Section 15304 Class 4. This section exempts projects that include minor alterations to landforms as well as a Section 15305 Class 5. This section exempts minor alterations to land use regulations such as lot line adjustments.
2. Recommend that the City Council accept or reject the required findings and approve or deny the request for a General Plan Amendment to change the General Plan designation of a portion of the site from "Woodlands & Watershed" to "Agriculture."
3. Recommend that the City Council accept or reject the required findings and approve or deny the request to Rezone a portion of the project site from the Woodlands & Watershed district to the Twenty Acre Agriculture (A-20) district.
4. Recommend that the City Council accept or reject the required findings and approve or deny a Use Permit to allow habitable accessory dwellings and construction of agricultural buildings on the site.
5. Recommend that the City Council accept or reject the required findings and approve or deny a Variance to allow the height of the proposed main residence to exceed the maximum 30' building height in the Agriculture zone by 3 feet 8 inches.
6. Recommend that the City Council accept or reject the required findings and approve or deny the request for a Lot Line Adjustment between the two subject parcels.
7. Recommend that the City Council accept or reject the required findings and approve or deny Design Review for the proposed main residence, guest residence, guest cottage, barn complex, pool complex, site grading, on-site driveways and related improvements at 2500 Spring Mountain Road.

### **ANALYSIS: CEQA**

The project proposes a General Plan Amendment and Rezone of the lower portion of the site from Woodlands & Watershed to Agriculture. The steeply sloped and vegetated hillside areas of the site are proposed to remain in the Woodlands & Watershed General Plan and Zoning designations. Staff finds that this component of the project is exempt from the provisions of CEQA pursuant to Section 15061(b)(3). This section exempts activities that can be seen with certainty to have no possibility for causing a significant effect on the environment. The existing and proposed land use designations are similar in purpose and in permitted uses. Both designations are intended to significantly restrict overall site use in order to maximize

preservation of natural features. Further, adjacent land uses within the St Helena City Limits and within the County of Napa are agriculturally zoned, therefore, the proposed General Plan Amendment and Rezoning are consistent with the designated development pattern for the area and neighborhood. Actual site development permitted within the Woodlands & Watershed designation is subject to City ministerial approval (and is therefore part of this full application to the City for site entitlements) and is subject to more detailed environmental review under CEQA. Accordingly, staff finds that it can be seen with certainty that there is no possibility that the General Plan Amendment and Rezone for this project may have a significant effect on the environment.

Additionally, staff finds that the remainder of the project is exempt from the requirements of CEQA pursuant to the following statutory exemptions.

- Section 15303, Class 3 Exemption (Guidelines Section 15303). This section exempts the construction and location of limited numbers of new structures.
- Section 15304 Class 4 Exemption (Guidelines Section 15304) for projects that include minor alterations to landforms.
- Section 15305 Class 5 Exemption (Guidelines Section 15305) where minor alterations to land use regulations are requested, which, in this case, would be the lot line adjustment.

#### **ANALYSIS: GENERAL PLAN & ZONING**

**General Plan Amendment Request.** The General Plan land use designation for the site is Woodlands & Watershed. This land use designation allows for very low density residential uses within the context of protection of wildlife, vegetation, open space and watersheds. The existing General Plan states that this designation is to be applied to heavily wooded steeply sloping properties generally in the eastern portion of the community that are less desirable for agricultural uses on the valley floor.

The applicant has requested an amendment to the General Plan land use diagram to retain the existing Woodlands and Watershed designation for the western 18.91-acre portion of the site and that the eastern 43.64-acre portion of the site be re-designated as "Agriculture." The Agricultural designation allows a variety of agricultural uses, wineries, single-family residences and public and quasi-public uses. One residence per legal lot is allowed.

The proposed application would be consistent with the General Plan objectives stated above in that the more wooded, steeply sloping western portion of the site would remain as Woodland and Watershed. The remainder of the site, which is flatter and contains an existing olive grove would be re-designated as Agriculture. The Agriculture designation would also allow the applicant the flexibility of providing additional guest quarters on the site, a barn complex and agricultural processing facilities.

Similar to the existing General Plan land use designation, the entire site is zoned "Woodlands and Watershed." A request has also been filed to rezone the eastern 43.64-acre portion of the site to the Twenty-Acre Agriculture (A-20) District. The request would ensure that site zoning would be consistent with the amended General Plan, as required by State law, and would also allow the applicant to construct detached guest quarters in the eastern portion of the site and to construct a facility for the processing of olive oil from fruit grown on the site. These two uses are not allowed in parcels zoned as Woodlands and Watershed.

Staff believes the proposed Agriculture land use designation is more appropriate for the eastern 43.64-acre portion of the site than the existing Woodlands and Watershed land use designation. The purpose of the Woodlands and Watershed designation is for the protection of wildlife, vegetation, open space and watershed protection. This designation is intended to apply to hilly, heavily vegetated parcels within the eastern portion of the community. The area proposed for the Agriculture designation is relatively flatter and is not heavily vegetated, although a number of trees are present.

The more heavily vegetated western portion of the site (approximately 18.91 acres of land) would remain within the Woodlands and Watershed designation. No development or grading would occur on this portion of the site.

The Agriculture land use designation would be more appropriate for the eastern portion of the site in this instance since the site the applicant proposes to take advantage of the existing olive grove on the site to process olive oil. This use is more appropriate for the Agriculture designation, which is being proposed.

Rezoning Request. The proposed rezoning for the eastern portion of the site from Woodlands & Watershed to the A-20 Agriculture District would be consistent with the purpose of the A-20 District, which is to provide for “agricultural and residential uses.” The District is intended to promote agricultural uses and also to provide for future orderly development. In this instance, no further development on the property is proposed other than that included in this application.

The A-20 District is also intended to reduce impacts to the provision of infrastructure. The proposed project would comply with this provision, since private water and wastewater systems are proposed.

The following table analyzes consistency of the proposed project with A-20 District development standards (Sec. 17.20.060 C). The following table assumes approval of the requested general plan amendment, rezoning and lot line adjustment. Due to the unusual shape of the parcels, staff has assumed that the front of the lot would be to the south, since this is the narrowest portion of the lot and also provides site access. The rear yard would then face north and side yards would be the east and west sides of the lot.

	District Requirement	Proposed Condition	Discussion
Max. Non-Agricultural Coverage	1 acre (43,560 sf)	Estimated 28,600 sf (includes building footprint of all residences, terraces, pools, but excludes barn)	Consistent
FAR	No Requirement	--	--
Front setback	50'	Approx. 180' (to proposed barn)	Consistent
Side setback	50'	90'	Consistent
Rear yard	20'	500' +	Consistent
Side yard	20'	90'	Consistent
Building Height	30'	33'	Variance requested

With the exception of the height of the main building for which a variance has been requested, the proposed project would be consistent with A-20 District development standards.

Staff believes the proposed rezoning request is appropriate to ensure consistency between the General Plan (assuming the amendment is approved) and will be consistent with the purpose and intent of the A-20 District.

**ANALYSIS: CONDITIONAL USE PERMIT**

Approval of a Conditional Use Permit has been requested as follows:

- Construction of more than one single-family dwelling per parcel, so long as the density and development standards of the A-20 District are observed pursuant to Section 17.20.030 (A).

The applicant proposes one main dwelling (allowed by right in the A-20 District) as well as one guest dwelling and one guest cottage, which do require the approval of a CUP. The Agriculture General Plan land use designation establishes a density standard of 1 dwelling per each 5-acres of lot size. With a total size of 62.5-acres, the proposed project would be consistent with this requirement.

- Construction of an olive oil processing facility on the site, per Section 17.20.030 (D).

Municipal Code Section 17.172.050 establishes the required findings for approval of a variance. These findings are described below. Staff analysis is in *italics*.

1. The proposed use would not generate odors, fumes, light, glare, radiation or refuse that would be injurious to surrounding uses or to the community.

*The predominant use of the site will be for dwellings, including a guest house and a guest cottage. These will not generate significant quantities of odor, fumes, light, glare or radiation over and above what could be anticipated for normal dwellings. The proposed septic system and leach field will be sited in the northern portion of the site away from residences on adjacent lots.*

*Proposed processing of olive oil will occur within an enclosed structure to avoid fumes or other impacts on surrounding properties.*

2. The proposed use would not generate levels of noise that adversely affect the health, safety or welfare of neighboring properties or uses.

*Proposed uses on the site will be predominantly residential. A recommended condition of approval will require review of mechanical plans by a qualified acoustic consultant to ensure consistency with the City's exterior noise exposure levels.*

3. The proposed use would not generate traffic noise in excess of the normally acceptable range identified in the general plan.

*Anticipated normal traffic to the proposed dwelling will be generally consistent with normal trip generation associated with the main dwelling and two smaller residences.*

4. The proposed use would not make excessive demands on the provision of public services including water supply, sewer capacity, energy supply, communication facilities, police protection and fire protection.

*Water and wastewater will be provided by privately owned and operated systems so as not to place a burden on municipal systems. The proposed project has been reviewed by the St. Helena Public Works Department and has been found not to result in excessive demands on these respective departments. The project site is also fenced and has a security gate at the site entrance for enhanced security.*

*The applicant has worked with the St. Helena Fire Department to provide an adequate on-site water system that would provide water supply and pressure to meet the California Building Code.*

*Normal usage of communication and energy resources are anticipated.*

5. The proposed use would provide adequate ingress and egress to and from the proposed location.

*The applicant is proposing to upgrade the main access road to the site, Bieber Road, which will include widening the roadway, providing additional turnouts and improving sight lines at key locations along the road. A second emergency vehicle access also exists to the east, to Main Street. The Police and Fire Departments find these access ways to be adequate.*

6. Allowing the proposed use would not conflict with the city's goal of maintaining the economic vitality of a local-serving economy.

*The proposed use will include a new residential complex with agricultural uses and will not conflict with the City's economic base. The project could include use of local contractors for construction purpose to assist the local economy.*

7. The proposed use would be compatible with surrounding land uses and would not conflict with the purpose established in the district within which it would be located.

*The proposed secondary dwelling and olive oil processing will be consistent with surrounding estate-type housing and vineyards to the north.*

8. The proposed use would not conflict with the city's general plan.

*The proposed residential and agricultural processing use will be consistent with the proposed General Plan land use designation of "Agriculture," which allows residential and agricultural uses.*

9. The proposed use would not be injurious to public health, safety or welfare.

*With adherence to the recommended conditions of approval, the proposed guest residence and olive oil processing facility would not be injurious to public health, safety or welfare.*

10. Granting the use permit would not set a precedent for the approval of similar uses whose incremental effect would be detrimental to the city or would be in conflict with the general plan.

*Approval of the requested use permit will not set a precedent for approval of similar uses in the general area, since surrounding properties have been developed with estate-type housing and minimal area for new similar development is available.*

11. Off-street parking to accommodate the long-term parking needs of employees and business owners and customers available.

*The proposal includes provisions for enclosed garage parking for vehicles as well as ample room for open parking on the 43.64-acre site.*

12. The capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.

*The proposed project will generate daily and peak hour traffic generally consistent with a standard single-family dwelling. The applicant proposes to widen and improve Bieber Road to enhance access to the site, which would also benefit surrounding residents as well.*

Staff believes that required findings can be made to approve the Use Permit.

#### **ANALYSIS: VARIANCE**

The applicant has requested a variance to allow the northern portion of the main residence to extend 3'-8" above the maximum 30' building height in the A-20 District. The building site sloped in this location to improve site drainage. Relocating the proposed residence to a flatter portion of the site could result in greater loss of existing trees, so the applicant chose to request approval of the variance.

Municipal Code Section 17.172.050 establishes the required findings for approval of a variance. These findings are described below along with staff analysis *in italics*.

1. A hardship peculiar to the property, not created by any act of the owner, exists. In this context, personal, family or financial difficulties, loss of prospective profits, neighboring violations, are not hardships justifying a Variance.

*The applicant has indicated that the site has sloping topography and contains a number of mature trees. The proposed main residence has been sited to avoid removal of an excessive number of trees which has resulted in locating a portion of the dwelling in a sloping area where dwelling will exceed the maximum building height.*

2. The Variance is necessary for the preservation and enjoyment of substantial property rights of the applicant which are possessed by other properties in the same district and in the same vicinity; and that a Variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his or her neighbors.

*The applicant notes that the project site is exceptionally large, approximately 62.5-acres in size, and will allow the owner to construct a residential estate complex, similar in nature to that enjoyed by surrounding residents. Approval of the request will not be a grant of special privilege.*

3. The authorization of the Variance will not be of substantial detriment to adjacent properties, and will not materially impair the purpose and intent of this Chapter or the public interest, nor adversely affect the General Plan.

*The portion of the proposed main residence that will exceed the maximum height established in the A-20 District will be located on the northern portion of the site and will not be visible to surrounding residences due to its location and vegetative cover.*

4. The condition or situation of the specific piece of property for which the Variance is sought is not so general or recurrent in nature as to make reasonably practicable the formulation of a general regulation for such condition or situation.

*The project site is unique in that it is very large in size and there is no recent record of a similar application being made to the City.*

5. The Variance and any buildings or structures permitted by the Variance will not be detrimental to the public health, safety and welfare of the community.

*The variance will allow construction of a single-family dwelling on the site which would exceed the maximum building height in the Twenty-Acre Agriculture District. The dwelling will comply with the California Building Code, other provisions of the St. Helena zoning ordinance and other City development standards and regulations. The project will therefore not be detrimental to the public health, safety or welfare.*

Based on the above analysis, staff believes the required findings can be made to approve the requested Variance.

### **ANALYSIS: DESIGN REVIEW**

The purpose of design review is to, among other things, promote the qualities that bring value to the community and foster attractiveness and functional utility of the community as a place to live and work. Zoning Ordinance Section 17.164.030 establishes the design criteria under which applications should be considered.

The following design criteria should be considered by the Planning Commission in review of this application (Zoning Ordinance Section 17.164.030):

1. *Consistency and compatibility with applicable elements of the general plan;*
2. *Compatibility of design with the immediate environment of the site;*
3. *Relationship of the design to the site;*
4. *Determination that the design is compatible in areas considered by the board as having a unified design or historical character;*
5. *Whether the design promotes harmonious transition in scale and character in areas between different designated land uses;*
6. *Compatibility with future construction both on and off the site;*
7. *Whether the architectural design of structures and their materials and colors are appropriate to the function of the project;*
8. *Whether the planning and siting of the various functions and buildings on the site create an internal sense of order and provide a desirable environment for occupants, visitors and the general community;*
9. *Whether the amount and arrangement of open space and landscaping are appropriate to the design and the function of the structures;*
10. *Whether sufficient ancillary functions are provided to support the main functions of the project and whether they are compatible with the project's design concept;*
11. *Whether access to the property and circulation systems are safe and convenient for pedestrians, cyclists and vehicles;*
12. *Whether natural features are appropriately preserved and integrated with the project;*
13. *Whether the materials, textures, colors and details of construction are an appropriate expression of its design concept and function and whether they are compatible with the adjacent and neighboring structure and functions;*
14. *In areas considered by the board as having a unified design character or historical character, whether the design is compatible with such character;*
15. *Whether the landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors create a desirable and functional environment and whether the landscape concept depicts an appropriate unity with the various buildings on the site;*
16. *Whether plant material is suitable and adaptable to the site, capable of being properly maintained on the site, and is of a variety which is suitable to the climate of St. Helena;*

17. *Whether sustainability and climate protection are promoted through the use of green building practices such as appropriate site/architectural design, use of green building materials, energy efficient systems and water efficient landscape materials.*

**Residences/design.** Staff believes the design of the proposed project, location of the site and use of materials is consistent with the City's Design Review standards listed above. The proposed design would reflect a rustic/agricultural design theme consistent with the site, historic uses on the site, surrounding uses and the General Plan.

The main residence, detached residences and accessory structures on the site would be clad with board and batten siding, lap siding and other materials generally associated with rural agricultural buildings. Accent material would include stone veneer and metal gutters. Roofs would be clad with corrugated metal, all of which is typical of agricultural buildings.

**Grading.** A small portion of the site (approximately 3.86 acres) would be graded to accommodate the proposed dwellings, pool area and driveway. This represents less than 6% of the total site area and none of the graded areas would be visible from public or private roads. Graded areas on the south side of the site could be visible from adjacent properties. Some of the proposed grading is required to provide improved fire access to and from the site. No portions of the site with a 30% slope or greater would be graded or disturbed.

**Trees.** The arborist report submitted with the application notes that construction of project improvements would require loss of forty (40) Oak, three (3) Douglas fir and one (1) one non-native eucalyptus tree.

To compensate for loss of trees on the site, a recommended condition of approval would require planting of native replacement trees on the site at a 2:1 ratio (2 trees replanted for each tree removed). Minimum size of replacement trees shall be 15 gallon.

#### **ANALYSIS: LOT LINE ADJUSTMENT**

The project site is composed of two separate but adjoining parcels of land. The applicant proposes to relocate the existing north-south property line located in the approximate center of the site to the west in order to create the building area for the main residence. If approved, the western parcel, which has been requested to be retained as WW: Woodlands and Watershed General Plan land use designation and rezoned accordingly, would have a lot size of 18.91-acres.

The reconfigured eastern parcel would have a size of 43.64-acres of land. As noted above, the applicant has requested the eastern proposed parcel to be designated as Agriculture on the General Plan land use map and rezoned as A-20 Agriculture.

Both parcels would remain under the same ownership.

Both proposed parcels would meet the minimum lot size for the respective zoning district (5 acres for the WW District and 20 acres for the A-20 District) and would be consistent with the proposed General Plan and zoning designation.

#### **CORRESPONDENCE: OPPOSITION/SUPPORT**

At the time of packet distribution staff has received no correspondence in support or in opposition to this project.

### **STAFF COMMENTS / RECOMMENDATIONS**

Staff is in support of the project and concludes that the required findings can be made for all of the requested entitlements by the Planning Commission.

The following are components of the project that staff acknowledges:

- *Ground disturbance will be limited to the flatter portions of the site.*
- *Design of dwellings reflect a rural/agrarian theme consistent with historic uses of the site.*
- *Proposed uses will allow re-activation of agricultural uses on the property.*
- *Proposed water and wastewater use will not burden municipal systems.*
- *Bieber Road will be upgraded, benefitting both the project applicant and neighbors and will provide enhanced emergency access to this portion of the community.*
- *Future residential development on this parcel will be limited based on the size of proposed size and location of proposed dwellings.*
- *Existing privacy of surrounding dwellings will be largely maintained.*

### **PLANNING COMMISSION ACTION**

1. Determination that the General Plan Amendment and Rezone portion of the project is exempt from the requirements of CEQA pursuant to Section 15061(b)(3). This section exempts activities that can be seen with certainty to have no possibility for causing a significant effect on the environment. The remainder of the project is exempt pursuant to the following statutory exemptions. Section 15303, Class 3 Exemption. This section exempts the construction and location of limited numbers of new structures. The numbers of structures described in this section are the maximum allowable on any legal parcel or to be associated with a project within a two-year period. Section 15304 Class 4. This section exempts projects that include minor alterations to landforms as well as a Section 15305 Class 5. This section exempts minor alterations to land use regulations such as lot line adjustments.
2. Accept the required findings and recommend City Council approval or denial of the request for a General Plan Amendment to change the General Plan designation of the eastern 43.64-acre portion of the site from "Woodlands & Watershed" to "Agriculture."
3. Accept the required findings and recommend City Council approval or denial of the request to rezone the eastern 43.64-acres of the site from the Woodlands District to the Twenty-Acre Agriculture (A-20) District."
4. Accept the required findings and recommend City Council approval or denial of the request for a Use Permit to allow habitable accessory dwellings and agricultural buildings on the site.
5. Accept the required findings and recommend City Council approval or denial of the request for a Variance to allow the height of the proposed main residence to exceed the maximum 30' building height in the Agriculture zone by 3'- 8".
6. Accept the required findings and recommend that the City Council accept or reject the required findings and approve or deny the request for a Lot Line Adjustment between the two subject parcels at 2500 Spring Mountain Road.
7. Accept the required findings and recommend that the City Council accept or reject the required findings and approve or deny Design Review for the proposed main residence, guest residence, guest cottage, barn complex, pool complex, site grading, on-site driveways and related improvements at 2500 Spring Mountain Road.

**ATTACHMENTS**

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February 27, 2014

Mr. Greg Desmond  
City of St. Helena  
1480 Main Street  
St. Helena CA 94574

### **PROJECT NARRATIVE**

Application Type: Design Review  
Use Permit Application (re-zone/lot-line-adjustment)  
Variance – Main Residence Height

Project Name: Hernandez Residence ("Property")  
Project Sponsor: Hernandez Family Trust  
Project Architect: Backen Gillam Kroeger  
Project Architect: McCoppin Studios  
Project Civil PE: Cameron Pridmore

The Hernandez Family is pleased to submit this Design Review, Use Permit and Variance request, for the Property located at 2500 Spring Mountain Road in St. Helena. This Property will be the primary residence of Jorge and Ana Hernandez who are looking forward to raising their 5 children in the St. Helena community.

### **PROJECT DESCRIPTION**

The Hernandez Family is initiating this Design Review, Rezone & LLA in order to build a 18,188 sq/ft primary residence on an area of the Property that is significantly void of trees and less than 5% in slope. They are also planning to build a 4,279 sq/ft guest house, a 1,772 sq/ft cottage and a 444 sq/ft pool cabana with a single bathroom adjacent to a family swimming pool and spa. They have a 3,638 sq/ft barn structure planned which includes a 628 sq/ft olive oil pressing room and a 628 sq/ft olive oil bottling room.

### **PROJECT BACKGROUND**

For several decades, the Property has long been the subject of development through various applications and approvals. Starting in the 1980's a 40-unit plan was developed, followed by a 25-unit plan, until a 12-lot map was approved by the City Council circa 1991. More recently, the prior owner, Canyon Way, LLC, intended to develop the project by subdividing the two parcels into ten single-family residential lots ranging from 5 acres to 9.1 acres. In sharp contrast to the prior attempts to develop these parcels, we believe that our proposed use of these two parcels, as a single family residence which

will be used as the primary home for our family, is a significant improvement for the community and city of St. Helena.

### DESCRIPTION OF THE PARCELS

The Property consists of two vacant parcels located in the Woodlands and Watershed district. The Property is bordered by agricultural county properties to the north, east and west. A cluster of private custom homes is located to the south, which are also in the city limits. The Property and the homes to the south are accessed via Bieber Road, a private driveway, which connects to Spring Mountain Road. As a condition of building, Bieber Road will be improved at the cost of the Hernandez Family.

The Napa Valley has a long and deep history of agriculture. Land zoning ordinances have established agriculture and open space as the best use for land in the fertile valley and foothill areas of Napa County. The deep history of agriculture in the Napa Valley runs through the heart of this Property, both figuratively and literally. The two parcels are dotted from top to bottom with one of the oldest olive orchards in the Napa Valley. The Property was originally part of a 317-acre property owned by Charles Krug and the olive orchard is believed to have been planted in the 1890s. Only through neglect of the olive orchard over the last century have the native oaks, douglas firs, manzanita shrub and poison oak overtaken the orchard that still awakens every spring to reveal its beating heart. We intend to restore the rich agricultural history of the property through an extensive rehabilitation of the orchard. This will of course not happen all at once but rather it will take years, one section at a time, to reclaim the original intent and reveal the beauty that once was. No trees of any kind will be removed during the restoration of the orchard, rather the orchard will be restored through a pruning process which will once again allow for an abundant olive harvest each fall. We are planning for a 628 sq/ft olive pressing facility to accommodate the revitalization of the orchard with the intent of producing Napa Valley Extra Virgin Olive Oil.

This Property has a long-standing agricultural history and is surrounded on three sides by active agricultural properties. The Krug Winery stands to the Northeast, the Culinary Institute of America to the east and Beringer Winery to the Southeast while numerous family wineries line the western portion of Hwy 29 to the north and west. The AG-20 adjustment is both consistent with historical use of these parcels and the current AG-20 zoning of adjoining properties to the north, east and west.

### CURRENT PROPOSAL

Many months went into the site planning for each building to respect the natural topography and impacts to existing trees. The following are the major points of discussion:

**Vegetation (trees):** It has been estimated that there are approximately 4,000 – 4,500 existing trees on-site, which consist of a variety of different species, as noted above. Of these, over 800 have been inventoried over the last few years. While the prior

application called for 410 trees to be removed, this application's total is 67 trees and 6 Manzanita shrubs to be removed . These trees are cataloged in the arborist report and also identified on the tree location map included in this submittal. We are proposing a 2:1 mitigation.

We have also invested significant effort and capital in improving the health of existing trees on the two parcels through an intensive fertilization effort directed by the oversight of a botanist. We are extremely committed to the biological health of the property and have engaged two arborists, tree care companies and biologists to assist in this regard

**Water:** The Property will utilize a new groundwater well for domestic, landscaping and fire protection, in lieu of tapping into the St. Helena water system. A well was installed (circa 2009), which is cased to approximately 490' and produces 42 gallons per minute. A second well was installed in 2014, which is cased to 610' and produces 300 gallons per minute.

**Septic:** City services will not be burdened. Extensive on-site test pit studies were completed and the septic system will be composed of Orenco Advantex treatment units coupled with a Geoflow drip line leach field.

The leach field is the main portion of the system and is roughly 50' X 100' in size. It is composed of ¾" drip lines laid out in a grid of parallel lines spaced roughly 2' apart. The drip lines are buried approximately 8 inches below the ground surface. The lines can easily be routed around trees or any other sensitive vegetation and are traditionally installed by hand or with small excavating equipment.

**Grading:** The project has been designed so the buildings are planned to be in the flat mid-section of the Property, thereby reducing grading and minimizing erosion control. As such, there is no grading on slopes greater than 30%. A slope grade analysis prepared by Albion Land Survey Company confirming the same has been included in this application package.

**Design Review:** The design review application is for the Property, which consists of a new 18,188 square foot main residence and a two-car garage, a 4,279 square foot guest house, a 1,772 square foot cottage, a 3,638 barn a 444 square foot cabana, a swimming pool and upper terrace spa.

**Use Permit Application:** The Property currently consists of two parcels; 009-131-002/043, which is 30.39 and 32.15 acres respectively. Both parcels are currently within the Woodlands and Watershed Zoning district. This application requests a Lot-Line-Adjustment and the rezoning of the parcel 009-131-002 to A-20 zoning. Parcel 009-131-043 will remain in the WW zoning district. The new parcel sizes would be approximately 43.67 acres (AG) and 18.88 acres (WW) respectively.

The AG adjustment is both consistent with historical and current use with adjoining properties to the north, east and west. Additionally, this zoning change would limit the

future potential to subdivide these parcels, as compared to what is currently allowed under the existing WW zoning. Retaining the western portion of the property, which is a unique mix oak and doug fir forest, as WW zoning is in keeping with the intent of the General Plan.

**Variance (Height):** All of the structures within the Project are within the proposed 30' AG zoning height limitations, with exception of the bedroom wing of the main residence. This structure is positioned in the mid-section of the site, which is not viewable from any public, or other private property and is surrounded by a significant amount of foliage. The main residence is a lineal structure that is primarily a single-story home. The existing grade moves downward from the southern to the northern part of the home where the bedroom wing is positioned. In this area the height exceeds the allowable use in the AG zoning by 8'-5" (2'-5" in the existing WW zoning). The application meets all other development standards of the zoning code.

The following documents have been included in this submittal package:

<b>Documents</b>	<b>Design Professional</b>
Architectural Plans	Backen Gillam Kroeger
Architectural Plans	McCoppin Studios (Guest house only)
Slope Grade Analysis w/ Limits of Grading	Albion Surveys
Tree Location Map	Albion Surveys
Arborist Report	Becky Duckles
Title Report	Fidelity Title
Grading & Drainage Plan	CMP Civil Engineer

Based on the above, we ask that the proposed Design Review, Use Permit and Variance request be considered by the St. Helena Planning Commission. The project site plan respects the existing condition of the lands by proposing to locate the residential structures in areas that are relatively flat and deforested. The AG adjustment would limit the future potential to subdivide these parcels, as compared to what is currently allowed under the existing WW zoning. We feel this application for a single family permanent residence represents the best intended use of the property. We are very much looking forward to living and raising our family in the St. Helena community for decades to come and would appreciate the support of our project.

Kind regards,

*Jorge and Ana Hernandez*

**CITY OF ST. HELENA**

**RESOLUTION \_\_\_\_\_**

**RECOMMENDING CITY COUNCIL APPROVAL OF A USE PERMIT, VARIANCE,  
DESIGN REVIEW AND LOT LINE ADJUSTMENT FOR PROPERTY  
LOCATED AT 2500 SPRING MOUNTAIN ROAD,  
APNs 009-131-002 AND 009-131-043**

**APPLICANT/ PROPERTY OWNER: The Hernandez Family Trust**

**Recitals**

1. Jorge Hernandez, trustee of the Hernandez Family Trust, property owner, requests the approval of a General Plan Amendment, Rezoning, Use Permit, Variance, Lot Line Adjustment and Design Review to construct a 18,188 sf single-family residence, a detached 4,222 sf guest house, a detached 1,772 sf guest cottage, a detached barn with an olive oil processing facility, improvements to existing Bieber Road, construction of on-site driveways, water storage tanks, an on-site septic system and grading the site to accommodate proposed improvements on the 62.5-acre property located at 2500 Spring Mountain Road.
2. The applicant's proposal requires the following actions or entitlements: a) a General Plan Amendment to change the General Plan Land Use Map from Woodlands and Watershed to Agriculture for the eastern 43.64-acre portion of the site; b) rezoning of eastern 43.64-acre portion of the site from Woodlands and Watershed District to the A-20 Agriculture District; c) a Use Permit Amendment to allow construction of accessory buildings and agriculture buildings on the site; and d) a variance to allow the proposed main dwelling to exceed the maximum height established in the Agriculture (A-20) District; e) a Lot Line Adjustment to relocate an existing interior lot line to the west without creating new parcels of land; and f) Design Review approval for the proposed main dwelling, accessory structures, site grading, roadway improvements, landscaping and related improvements.
3. The applicant's proposal is exempt from the requirements of CEQA pursuant to the following statutory exemptions. Section 15303, Class 3 Exemption. This section exempts the construction and location of limited numbers of new structures. The numbers of structures described in this section are the maximum allowable on any legal parcel or to be associated with a project within a two-year period. Section 15304 Class 4. This section exempts projects that include minor alterations to landforms as well as a Section 15305 Class 5. This section exempts minor alterations to land use regulations such as lot line adjustments.
4. The Planning Commission of the City of St. Helena, State of California, held noticed public hearings on the applicant's proposal on March 4, 2014, reviewing the public record, including all application submittal materials, letters submitted regarding the proposal and staff reports, opening a public hearing to receive testimony from the applicant and interested persons, and deliberating on the project before making its recommendation to the City Council to approve the project with recommended conditions.

## Resolution

NOW, THEREFORE, the Planning Commission for the City of St. Helena resolves as follows:

- A. The Planning Commission determines that project is exempt pursuant to the following statutory exemptions. Section 15303, Class 3 Exemption. This section exempts the construction and location of limited numbers of new structures. The numbers of structures described in this section are the maximum allowable on any legal parcel or to be associated with a project within a two-year period. Section 15304 Class 4. This section exempts projects that include minor alterations to landforms as well as a Section 15305 Class 5. This section exempts minor alterations to land use regulations such as lot line adjustments.
- B. The Planning Commission makes the following Use Permit findings, contained in Zoning Ordinance Section 27.439, to support the motion to recommend City Council of a Use Permit Amendment to allow the proposed improvements on the subject parcels:
1. *That the predominant use of the site will be for dwellings, including a guest house and a guest cottage. These will not generate significant quantities of odor, fumes, light, glare or radiation over and above what could be anticipated for normal dwellings. The proposed septic system and leach field will be sited in the northern portion of the site away from residences on adjacent lots.*
  2. *That the proposed uses on the site will be predominantly residential. A recommended condition of approval will require review of mechanical plans by a qualified acoustic consultant to ensure consistency with the City's exterior noise exposure levels.*
  3. *That anticipated normal traffic to the proposed dwelling will be generally consistent with normal trip generation associated with the main dwelling and two smaller residences.*
  4. *That water and wastewater will be provided by privately owned and operated systems so as not to place a burden on municipal systems. The proposed project has been reviewed by the St. Helena Public Works Department and has been found not to result in excessive demands on these respective departments. The project site is also fenced and has a security gate at the site entrance for enhanced security. The applicant has worked with the St. Helena Fire Department to provide an adequate on-site water system that will provide water supply and pressure to meet the California Building Code. Normal usage of communication and energy resources are anticipated.*
  5. *The applicant is proposing to upgrade the main access road to the site, Bieber Road, that will include widening the roadway, providing additional turnouts and improving sight lines at key locations along the road. A second and minor emergency access also exists to the east, to Main Street. The Police and Fire Departments has found these accessways to be adequate.*
  6. *The proposed use will include a new residential complex with agricultural uses and will not conflict with the City's economic base. The project could include use of local contractors for construction purpose to assist the local economy.*
  7. *The proposed secondary dwelling and olive oil processing use will be consistent with surrounding estate-type housing and vineyards to the north.*

8. *The proposed residential and agricultural processing use will be consistent with the proposed General Plan land use designation of "Agriculture," with allows residential and agricultural uses.*
  9. *With adherence to the recommended conditions of approval, the proposed guest residence and olive oil processing facility will not be injurious to public health, safety or welfare.*
  10. *Approval of the requested use permit will not set a precedent for approval of similar uses in the general area, since surrounding properties have been developed with estate-type housing and minimal area for new similar development is available.*
  11. *The proposal includes provisions for enclosed garage parking for vehicles as well as ample room for open parking on the 43-acre site.*
  12. *The proposed project will generate daily and peak hour traffic generally consistent with a standard single-family dwelling. The applicant proposes to widen and improve Bieber Road to enhance access to the site, which will also benefit surrounding residents as well.*
- C. The Planning Commission makes the following findings, contained in Zoning Ordinance Section 17.172.050, to support Variance to allow the northern portion of the main residence to extend 3'-8" above the maximum 30' building height in the A-20 District. The building site sloped in this location to improve site drainage. Relocating the proposed residence to a flatter portion of the site could result in greater loss of existing trees, so the applicant chose to request approval of the variance.
1. *The applicant has indicated that the site has sloping topography and contains a number of mature trees. The proposed main residence has been sited to avoid removal of an excessive number of trees which has necessitated location a portion of the dwelling in a sloping area of the site where a portion of the dwelling will exceed the maximum building height.*
  2. *The applicant notes that the project site is exceptionally large, approximately 62.5-acres in size, and will allow the owner to construct a residential estate complex, similar in nature to that enjoyed by surrounding residents. This will not be a grant of special privilege.*
  3. *The portion of the proposed main residence that will exceed the maximum height established in the A-20 District will located on the northern portion of the site and will not be visible to surrounding residences due to its location and vegetative cover.*
  4. *That the project site is unique in that it is very large in size and there is no recent record of a similar application being made to the City.*
  5. *The variance will allow construction of a single-family dwelling on the site which would exceed the maximum building height in the Twenty-Acre Agriculture District. The dwelling will comply with the California Building Code, other provisions of the St. Helena zoning ordinance and other City development standards and regulations. The project will therefore not be detrimental to the public health, safety or welfare.*
- D. The Planning Commission makes the following Design Review findings for construction of the project, subject to the applicable Design Review criteria contained in Municipal Code Section 17.164.030.

1. *The project is consistent and compatible with applicable elements of the St. Helena General Plan, as amended by action of the City for this project.*
  2. *The design of the project is compatible with the immediate environment of the site.*
  3. *The project design has a positive relationship with the natural features on the site.*
  4. *The design of the project is compatible in areas considered by the Commission as having a unified design consistent with the historical character of the site.*
  5. *The design promotes harmonious transition in scale and character from residences south of the site to unincorporated properties north of the site.*
  6. *The proposed use will be compatible with surrounding residential and agricultural uses.*
  7. *The design and use of materials is appropriate to the site and residential and agricultural uses.*
  8. *The planning and siting of structures create a sense of order by being places on the lower elevations of the site to maximize privacy, reduce grading and maximize retention of trees.*
  9. *The placement of buildings will maximize open space around the perimeter of the site and provide for a logical arrangement of buildings for occupants and visitors.*
  10. *The site plan provides for adequate accessory and ancillary facilities on the site, including but not limited to guest houses and cottages, a barn, a pool area, eater tanks and other facilities. Main accessory buildings will reflect the same overall design and use of materials as the main residence.*
  11. *An on-site circulation system will be constructed on the approximate location as existing unimproved roads. Bieber Road, the main access to the property, will be improved so that access by vehicles, pedestrians and bicyclists will be provided.*
  12. *Existing natural features, including a large number of trees, hillsides and other natural features on the site will be preserved.*
  13. *The main residence, guest residences, barn and pool house will use vertical board and batten siding, a corrugated metal roof and stone veneer trim.*
  14. *The design of all structures will have a unified rural and agricultural design, compatible with the historic agricultural use of the site and surrounding properties.*
  15. *Landscaping on the site will be minimal and will consist of preserving as many existing trees as possible, including transplantation of a number of on-site trees.*
- E. The Planning Commission recommends City Council approval the Lot Line Adjustment on the Hernandez Family Trust property at 2500 Spring Mountain Road, APNs 009-131-002 & 131-047-047. Existing lot lines will be reconfigured and no new lots will be created. The resulting parcels of land will meet the minimum lot sizes established for the Woodlands and Watershed and Twenty-Acre Agriculture zoning districts.
- F. The Planning Commission recommends approval the project entitlements, as identified herein, subject to compliance with the following conditions to the City Council. This project shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of the approval. The conditions noted below are particularly pertinent to this action and shall not be construed to permit violation of other laws and policies not so listed.

### **Planning Department**

1. This approval shall be vested within one (1) year from the date of action. A building permit for the use allowed under this Use Permit shall have been obtained within one (1) year from the effective date of the Use Permit and other Approvals or the Use Permit and other Approvals shall expire; provided however that the Use Permit and other Approvals may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals. Any requests for Extension shall be justified in writing and received by the Planning Department at least thirty (3) days prior to expiration.
2. These approvals are valid for this use only. New permits must be applied for upon any change in use. These permits will expire if the use is discontinued pursuant to then existing ordinances and regulations.
3. All required fees, including, as applicable, planning fees, development impact fees, residential in-lieu fees, engineering or building fees, toilet retrofit fees, school district fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
4. Compliance with all permit conditions shall occur in accordance with specific regulations, but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
5. The applicant shall defend and indemnify and hold the City, its agents, officers, and employees harmless against any claim, action or proceedings to attack, set aside, void or annul an approval so long as the City promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.
6. Provided they are in general compliance with this permit, minor modifications may be approved by the Planning Director.
7. This permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and the benefit of the City of St. Helena.
8. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The owner/applicant is responsible for meeting with the Building Official/Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and the accessibility standards of Title 24.
9. Construction shall be in compliance with plans reviewed and approved by the City on March 4, 2014 as amended to comply with the applicable conditions provided herein and the associated adopted mitigation measures.
10. Building or grading permits shall not be approved until the general plan amendment, rezoning and lot line adjustment have been fully approved by the City Council. Proof of recordation of the Lot Line Adjustment with Napa County shall be provided prior to issuance of a building permit.
11. Unless otherwise provided in the Arborists Report for the project, each tree or group of trees to be preserved within the vicinity of the construction site shall be protected by enclosure

with a 6' chain link fence prior to grading or movement of heavy equipment. The minimum distance of the fence from the tree shall be at the drip line, but may be extended an additional 10' to include the root zone which shall be determined by the project or City Arborist. Fencing shall remain in place until such time as the Building Inspector is assured the trees are no longer in danger of construction damage.

12. Trees removed on the site shall be replaced at a 2:1 ratio (2 trees planted for each 1 tree removed) with the minimum size of the replacement tree being 15 gallon.
13. The applicant shall provide for the enclosed storage of trash and separated recyclable material. Should the area designated for trash storage prove insufficient to accommodate approved uses on the site, the applicant agrees to provide alternative means (e.g. expanded facilities, more frequent collection, etc.) to address this issue.
14. The applicant and/or construction manager shall notify all contractors and subcontractors that no trespassing is allowed on adjoining properties.
15. This property adjoins an agricultural district. There exists a right-to-farm the adjoining property. There is a good faith expectation that no complaints will occur regarding legal, normal agricultural activities on the adjacent land. Such activities may include day or night disbursement of chemicals, and creation of dust, noise, or fumes.
16. Grading, building and other construction activities, including equipment and vehicle tune-up and delivery of materials, shall be limited to the hours of 7 a.m. to 7 p.m., Monday through Saturday excluding local, state and federal holidays.
17. Bieber Road improvements shall be installed to the satisfaction of the Acting Director or Public Works prior to the issuance of the first grading or building permit, whichever is first.
18. Prior to the issuance of a grading permit, the permittee's civil engineer shall submit an Excavation Management Plan to the Public Works Department detailing the estimated amount of cut per phase, the location of receiving parcel(s), the route(s) of haul trucks from the site and specific methods to be taken to ensure that dirt is not spilled on private streets.
19. At the time of submittal of the deeds with legal descriptions for the adjusted lots, the applicant shall submit a plan or map, prepared to scale, that accurately locates all existing utilities, access drives and drainage patterns for all parcels as required by St. Helena Municipal Code, Title 16, Section 16.08.070. The plan shall be prepared under the supervision of and sealed by a California Licensed Land Surveyor or Registered Civil Engineer authorized to practice land surveying.
  - i. *The plan or map shall be reviewed by the Planning Director and the Public Works Director before the applicant is authorized to record the revised deeds. The Planning Director shall confirm that the locations of existing structures conform to setback and other zoning requirements and the director of Public works shall identify the need for easements as described in item b below.*

- ii. The applicant shall submit for review and record easements for all utilities, access drives and drainage patterns where such facilities or features cross one parcel to serve another other parcel as determined by the Public Works Director.*
20. The applicant or property owner shall submit two (2) copies of the lot line adjustment draft deed document legal descriptions. The deeds shall include legal descriptions of the lots before and after the lot line adjustment describing the entire boundary of each parcel. The legal descriptions shall be prepared, signed and stamped by a registered Land Surveyor or a licensed Civil Engineer, authorized to practice land surveying in California. The purpose of the revised deeds is to show the lot line adjustment in the chain of title.
21. The following statement shall be included on each revised deed document:
  - i. The purpose of this conveyance and the conveyances being recorded concurrently herewith is to create a lot line adjustment pursuant to California Government Code Section 66412(d) and all local subdivision ordinances.*
22. The applicant shall record easements for all utilities, access and drainage patterns where facilities or features cross one parcel to serve another parcel, as determined by the City's Acting Public Works Director.
23. The property owner shall submit two (2) copies of the title reports issued within 30 days of the date of submittal of the revised deed and legal descriptions.
24. The property owners shall submit proof of payment of the mapping services fee, as required by the Napa County Board of Supervisors, Resolution 92-119, prior to recording documents.
25. The property owner shall submit proof of prepayment of property taxes to the City prior to recording documents, as applicable.
26. The property owner shall advise all lenders associated with the parcels subject to this lot line adjustment of the City's action to approve the application and any deeds of trust on the subject properties shall be modified to conform to the new boundary configurations and submitted to the City prior to recording documents.
27. Within 30 days of approval of the revised deeds and their recording by the Napa County Recorder's Office, two (2) conforming copies of the recorded deed documents shall be submitted to the Planning Department for its files and use in issuing "Notice of Completion" statements.

### **Public Works**

1. Approval of this project shall be subject to the requirements of, and designed and constructed in accordance with, the most current versions of all federal, state, county and city codes governing such improvements. Approval of these design review preliminary plans is not considered a final approval of grading, drainage and erosion control design elements.
2. Regardless of the final zoning of the properties, the applicant shall comply with all grading restrictions and requirements of the Woodlands and Watershed District, Section 17.64.060 of the Municipal Code. Where it is found that the applicant deviated from the restrictions in

17.64.060, the deviation shall be remedied or restored to its original configuration to the maximum extent possible, as determined by the Public Works Director. Any grading and slope violations shown on this design review, any grading and site plans or existing construction in the field are not exempt from the code requirements of 17.64.060 and not approved herewith.

3. For any improvements outside the building envelope, a grading and drainage plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit. If the project entails more than 50 cubic yards of soil disturbance, 10,000 sf of disturbance area, a cut or fill of 3 feet or more, or alteration of any drainage pattern, a grading permit shall be required.
4. Any improvements performed in a public right of way will require an encroachment permit from the City. Improvements on private shared roadways will require written approval of plans by all parties of ownership of the access easements and shall follow any previously approved plans unless approved by all parties. Any and all accesses to all site improvements, existing or proposed, shall be approved by the Fire Department prior to issuance of a grading permit.
5. No added drainage from the new hardscape, roofs, decks, pools or roof improvements shall be allowed to leave the site. The stormwater plan shall provide a method to address how drainage will be treated, detained and infiltrated on site and at the property lines. Only the predeveloped flows shall leave the site.
6. Stormwater treatment shall be designed and constructed in accordance with St. Helena Development Manual Stormwater Standards and the most recent State of California standards for the stormwater run-off for 85th percentile storm event or greater as required by County and State standards. In the event the engineer's analysis shows potential for downstream erosion, the predeveloped flows from the 100 year storm events may be required to be infiltrated on site or detained and metered off-site. A system to detain the post-developed flows shall be designed in accordance with City/County/State standards at the direction of the City Engineer.
7. If the disturbed area for all grading and improvements, including any access road, is greater than 1 acre, submittal of a SWPPP and adherence to the most recent NPDES General Construction Permit requirements is required. If the site disturbed area does not exceed the 1 acre limit, applicant is required to submit an erosion control plan for approval by the City Engineer to control construction runoff and contamination of site soils.
8. Combustible construction may not commence until adequate access to fire water supply is available to building site as approved by the Fire Chief.
9. Where fire sprinklers are required, applicant shall install an appropriately-sized water service system with pumps if necessary to adhere to the latest city and state fire codes prior to Certificate of Occupancy as approved by the Fire Chief.
10. Prior to Building Permit issuance, if applicable, a well yield test submitted for review and approval by Napa County Environmental Management to provide domestic and fire system water use.

11. Trenching up the 30% slopes from the well at the northeast corner of the site near Main Street/Highway 29 is prohibited based on the exception granted for connection to City potable water.
12. Where applicable, the applicant shall conform to the Napa County Department of Environmental Management's regulations, policies and guidelines for the design and construction of septic systems and provide DEM approval to the City. Woodlands and watershed restrictions shall apply for septic systems regardless of final zoning designations.
13. Improvements to Beiber Road as submitted with this design review shall be completed prior to combustible construction on-site.
14. The applicant shall repair all public and private improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to the final building's Certificate of Occupancy.
15. As applicable, any incomplete or broken public improvement such as shoulder, swales, drainage pipes or asphalt along the project frontage shall be replaced per City/Caltrans specifications prior to Certificate of Occupancy, extent to be determined by the Public Works Department.

#### **Fire Department**

1. Approval of this project shall be subject to the requirements of, and designed and constructed in accordance with, the most current versions of all federal, state, county and city codes governing such improvements. Specifically, Section 15.36 of the 2013 St. Helena Municipal Fire Code.
2. Approval of these design review preliminary plans is not considered a final approval from the St. Helena Fire Department.
3. All access roads shall be designed and constructed to meet HS-20 loading standards to accommodate a 75,000 lb. fire truck.
4. The project shall supply 30,000 gallons of fire suppression water for the construction of the guest house, barn, cottage and pool cabana.
5. The project shall supply 100,000 gallons of fire suppression water for construction of the main house or other structures; alternatively, the pool maybe be connected to the hydrant system to provide the needed 100,000 gallons of fire suppression water for construction.
6. Access roads more than 10% grade must be AC paved, any access roads with slopes from 10% to 16% must be constructed of scoured concrete; no roads over 20% are allowed.
7. Adequate fire engine clearance (min 13' 6") vertical above all roads is required.
8. Road widths, turnouts and Fire Fighting staging areas to be determined when final structure location plans are submitted.

9. Hydrant placement and numbers provided will be determined by the Fire Chief during building plan check by adherence to 2013 Fire Code for building placement and distance from structures to Fire Equipment access.
10. Suitable access shall be provided for Fire Engine and emergency vehicle response to all developed sites. Staging/parking areas must be within forty (40) feet from the structures, with the exception of the cabana and meet the 150 foot hose extension requirement.
11. The pool cabana must have adequate emergency personnel access, as determined by the Fire Code Official or Fire Chief, with a reasonably smooth all weather surface.
12. Combustible construction may not commence until adequate access to fire water supply is available to building site as approved by the Fire Code Official or Fire Chief.
13. Fire sprinklers are required inside and outside all buildings. The applicant shall install an appropriately-sized water service system with pumps if necessary to adhere to the latest city and state fire codes prior to certificate of occupancy as approved by the Fire code official or Fire Chief.
14. Final vegetation removal requirements will be determined once the building site placement is approved by the Fire Code Official or Fire Chief.

Approved at a Regular Meeting of the St. Helena Planning Commission on March 4, 2014 by the following vote:

**AYES:**  
**NOES:**  
**ABSENT:**  
**ABSTAIN:**

**APPROVED:**

**ATTEST:**

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Matthew Heil  
 Chairperson

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Greg Desmond  
 Recording Secretary

**CITY OF ST. HELENA**

**RESOLUTION \_\_\_\_\_**

**RECOMMENDING CITY COUNCIL APPROVAL OF A  
GENERAL PLAN MAP AMENDMENT AND REZONING FOR PROPERTY  
LOCATED AT 2500 SPRING MOUNTAIN ROAD,  
APNs 009-131-002 AND 009-131-043**

**APPLICANT/ PROPERTY OWNER:** The Hernandez Family Trust

**Recitals**

1. Jorge Hernandez, trustee of the Hernandez Family Trust, property owner, requested an Amendment to the General Plan from the existing land use designation of “Woodlands & Watershed” to “Agriculture” for the easterly 43.64-acres of the site. The applicant has also requested a rezoning of the same property from the Woodlands and Watershed District to the Twenty-Acre (A-20) Agricultural District to be consistent with the amended General Plan Land Use Map.
2. The property owner has also requested that the same property as referenced above be rezoned from the existing Woodlands and Watershed zoning district to the Twenty-Acre (A-20) Agriculture District to be consistent with the amended General Plan Land Use Map.
3. The 62.54-acre property is located at 2500 Spring Mountain Road and is currently undeveloped.
4. The project components include the following:
  - A General Plan Map Amendment to change the eastern 43.64-acres of the site land use designation from Woodlands and Watershed to Agriculture.
  - A Rezoning of the eastern 43.64-acres of the property from the Woodlands and Watershed District to the Twenty Acre (A-20) Agriculture District.
5. The project proposes a General Plan Amendment and Rezone of the lower portion of the site from Woodlands & Watershed to Agriculture. The steeply sloped and vegetated hillside areas of the site are proposed to remain in the Woodlands & Watershed General Plan and Zoning designations. Staff finds that this component of the project is exempt from the provisions of CEQA pursuant to Section 15061(b)(3). This section exempts activities that can be seen with certainty to have no possibility for causing a significant effect on the environment. The existing and proposed land use designations are similar in purpose and in permitted uses. Both designations are intended to significantly restrict overall site use in order to maximize preservation of natural features. Further, adjacent land uses within the St Helena City Limits and within the County of Napa are agriculturally zoned, therefore, the proposed General Plan Amendment and Rezoning are consistent with the designated development pattern for the area and neighborhood. Actual site development permitted within the Woodlands & Watershed designation is subject to City ministerial approval (and is therefore part of this full application

to the City for site entitlements) and is subject to more detailed environmental review under CEQA. Accordingly, staff finds that it can be seen with certainty that there is no possibility that the General Plan Amendment and Rezone for this project may have a significant effect on the environment.

6. The Planning Commission of the City of St. Helena, State of California, held a noticed public hearing on the applicant's proposal on March 4, 2014, reviewing the public record, including all application submittal materials, letters submitted regarding the proposal and staff reports, opening a public hearing to receive testimony from the applicant and interested persons, and deliberating on the project before making its recommendation to the City Council to approve the project with the recommended conditions and mitigation measures.

**Resolution**

NOW, THEREFORE, the Planning Commission of the City of St. Helena resolves as follows:

- A. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the CEQA Guidelines.
- B. The Planning Commission considered the following guidelines pursuant to Municipal Code Section 17.12.050:
  - To allow for the consideration of an element not initially considered at the time of approval of the General Plan;
  - To reflect changes in goals, policy, physical, social or economic conditions; and
  - When, due to naturally occurring physical constraints or changes, the projected land usage on the General Plan is no longer feasible.
- C. The Planning Commission hereby recommends City Council approval of an amendment of the General Plan Map to change the designation of the easterly 43.64-acres of the property located at 2500 Spring Mountain Road from Woodlands and Watershed to Agriculture as shown on Attachment 1. Attachment 1 is hereby incorporated by reference into this Resolution.
- D. The Planning Commission hereby recommends City Council approval of a rezoning of the easterly 43.64-acres of the property located at 2500 Spring Mountain Road from Woodlands and Watershed to Agriculture as shown on Attachment 2. Attachment 2 is hereby incorporated by reference into this Resolution.

Approved at a Regular Meeting of the St. Helena Planning Commission on March 4, 2014 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

**APPROVED:**

\_\_\_\_\_  
Matthew Heil  
Chairperson

**ATTEST:**

\_\_\_\_\_  
Greg Desmond  
Recording Secretary



**CITY OF ST. HELENA**

**RESOLUTION 2014-33**

**APPROVAL A USE PERMIT, DESIGN REVIEW VARIANCE, DESIGN REVIEW AND  
LOT LINE ADJUSTMENT FOR PROPERTY LOCATED AT  
2500 SPRING MOUNTAIN ROAD,  
APNs 009-131-002 AND 009-131-043**

**APPLICANT/ PROPERTY OWNER:** The Hernandez Family Trust

**Recitals**

1. Jorge Hernandez, trustee of the Hernandez Family Trust, property owner, requests the approval of a General Plan Amendment, Rezoning, Use Permit, Variance, Lot Line Adjustment and Design Review to construct a 18,188 sf single-family residence, a detached 4,222 sf guest house, a detached 1,772 sf guest cottage, a detached barn with an olive oil processing facility, improvements to existing Bieber Road, construction of on-site driveways, a water storage tank, an on-site septic system and grading the site to accommodate proposed improvements on the 62.5 acre property located at 2500 Spring Mountain Road.
2. The applicant's proposal requires the following actions or entitlements: a) a General Plan Amendment to change the General Plan Land Use Map from Woodlands and Watershed to Agriculture for the eastern 43.64-acre portion of the site; b) rezoning of eastern 43.64-acre portion of the site from Woodlands and Watershed District to the A-20 Agriculture District; c) a Use Permit Amendment to allow construction of accessory buildings and agriculture buildings on the site; and d) a variance to allow the proposed main dwelling to exceed the maximum height established in the Agriculture (A-20) District; e) a Lot Line Adjustment to relocate an existing interior lot line to the west without creating new parcels of land; and f) Design Review approval for the proposed main dwelling, accessory structures, site grading, roadway improvements, landscaping and related improvements.
3. The applicant's proposal is exempt from the requirements of CEQA pursuant to the following statutory exemptions. Section 15303, Class 3 Exemption. This section exempts the construction and location of limited numbers of new structures. The numbers of structures described in this section are the maximum allowable on any legal parcel or to be associated with a project within a two-year period. Section 15304 Class 4. This section exempts projects that include minor alterations to landforms as well as a Section 15305 Class 5. This section exempts minor alterations to land use regulations such as lot line adjustments.
4. The Planning Commission of the City of St. Helena, State of California, held a noticed public hearing on the applicant's proposal on March 4, 2014, reviewing the public record, including all application submittal materials, letters submitted regarding the proposal and staff reports, opening a public hearing to receive testimony from the applicant and interested persons, and deliberating on the project before making its recommendation to the City Council to approve the project with recommended conditions.

## Resolution

NOW, THEREFORE, the City council for the City of St. Helena resolves as follows:

- A. The City council determines that project is exempt pursuant to the following statutory exemptions. Section 15303, Class 3 Exemption. This section exempts the construction and location of limited numbers of new structures. The numbers of structures described in this section are the maximum allowable on any legal parcel or to be associated with a project within a two-year period. Section 15304 Class 4. This section exempts projects that include minor alterations to landforms as well as a Section 15305 Class 5. This section exempts minor alterations to land use regulations such as lot line adjustments.
- B. The City council makes the following Use Permit findings, contained in Zoning Ordinance Section 27.439, to support the motion to recommend City Council of a Use Permit Amendment to allow the proposed improvements on the subject parcels:
1. *That the predominant use of the site will be for dwellings, including a guest house and a guest cottage. These will not generate significant quantities of odor, fumes, light, glare or radiation over and above what could be anticipated for normal dwellings. The proposed septic system and leach field will be sited in the northern portion of the site away from residences on adjacent lots.*
  2. *That the proposed uses on the site will be predominantly residential. A recommended condition of approval will require review of mechanical plans by a qualified acoustic consultant to ensure consistency with the City's exterior noise exposure levels.*
  3. *That anticipated normal traffic to the proposed dwelling will be generally consistent with normal trip generation associated with the main dwelling and two smaller residences.*
  4. *That water and wastewater will be provided by privately owned and operated systems so as not to place a burden on municipal systems. The proposed project has been reviewed by the St. Helena Public Works Department and has been found not to result in excessive demands on these respective departments. The project site is also fenced and has a security gate at the site entrance for enhanced security. The applicant has worked with the St. Helena Fire Department to provide an adequate on-site water system that will provide water supply and pressure to meet the California Building Code. Normal usage of communication and energy resources are anticipated.*
  5. *The applicant is proposing to upgrade the main access road to the site, Bieber Road, that will include widening the roadway, providing additional turnouts and improving sight lines at key locations along the road, A second and minor emergency access also exists to the east, to Main Street. The Police and Fire Departments has found these access ways to be adequate.*
  6. *The proposed use will include a new residential complex with agricultural uses and will not conflict with the City's economic base. The project could include use of local contractors for construction purpose to assist the local economy.*
  7. *The proposed secondary dwelling and olive oil processing use will be consistent with surrounding estate-type housing and vineyards to the north.*

8. *The proposed residential and agricultural processing use will be consistent with the proposed General Plan land use designation of "Agriculture," with allows residential and agricultural uses.*
  9. *With adherence to the recommended conditions of approval, the proposed guest residence and olive oil processing facility will not be injurious to public health, safety or welfare.*
  10. *Approval of the requested use permit will not set a precedent for approval of similar uses in the general area, since surrounding properties have been developed with estate-type housing and minimal area for new similar development is available.*
  11. *The proposal includes provisions for enclosed garage parking for vehicles as well as ample room for open parking on the 43-acre site.*
  12. *The proposed project will generate daily and peak hour traffic generally consistent with a standard single-family dwelling. The applicant proposes to widen and improve Bieber Road to enhance access to the site, which will also benefit surrounding residents as well.*
- C. The City Council finds, pursuant to the recommendation of the Planning Commission, that findings for the granting of a Variance to allow the northern portion of the main residence to extend 3-ft. 8-in above the maximum 30 foot building height in the A-20 District cannot be made.
- D. The City council makes the following Design Review findings for construction of the project, subject to the applicable Design Review criteria contained in Municipal Code Section 17.164.030.
1. *The project is consistent and compatible with applicable elements of the St. Helena General Plan, as amended by action of the City for this project.*
  2. *The design of the project is compatible with the immediate environment of the site.*
  3. *The project design has a positive relationship with the natural features on the site.*
  4. *The design of the project is compatible in areas considered by the Commission as having a unified design consistent with the historical character of the site.*
  5. *The design promotes harmonious transition in scale and character from residences south of the site to unincorporated properties north of the site.*
  6. *The proposed use will be compatible with surrounding residential and agricultural uses.*
  7. *The design and use of materials is appropriate to the site and residential and agricultural uses.*
  8. *The planning and siting of structures create a sense of order by being places on the lower elevations of the site to maximize privacy, reduce grading and maximize retention of trees.*
  9. *The placement of buildings will maximize open space around the perimeter of the site and provide for a logical arrangement of buildings for occupants and visitors.*
  10. *The site plan provides for adequate accessory and ancillary facilities on the site, including but not limited to guest houses and cottages, a barn, a pool area, eater tanks and other facilities. Main accessory buildings will reflect the same overall design and use of materials as the main residence.*
  11. *An on-site circulation system will be constructed on the approximate location as existing unimproved roads. Bieber Road, the main access to the property, will be improved so that access by vehicles, pedestrians and bicyclists will be provided.*
  12. *Existing natural features, including a large number of trees, hillsides and other natural features on the site will be preserved.*

13. *The main residence, guest residences, barn and pool house will use vertical board and batten siding, a corrugated metal roof and stone veneer trim.*
  14. *The design of all structures will have a unified rural and agricultural design, compatible with the historic agricultural use of the site and surrounding properties.*
  15. *Landscaping on the site will be minimal and will consist of preserving as many existing trees as possible, including transplantation of a number of on-site trees.*
- E. The City Council approves the Lot Line Adjustment on the Hernandez Family Trust property at 2500 Spring Mountain Road, APNs 009-131-002 & 131-047-047. Existing lot lines will be reconfigured and no new lots will be created. The resulting parcels of land will meet the minimum lot sizes established for the Woodlands and Watershed and Twenty-Acre Agriculture zoning districts.
- F. The City Council approves the project entitlements, as identified herein, subject to compliance with the following conditions. This project shall be in conformance with all City ordinances, rules, regulations and policies in effect at the time of issuance of the approval. The conditions noted below are particularly pertinent to this action and shall not be construed to permit violation of other laws and policies not so listed.

#### **Planning Department**

1. This approval shall be vested within one (1) year from the date of action. A building permit for the use allowed under this Use Permit shall have been obtained within one (1) year from the effective date of the Use Permit and other Approvals or the Use Permit and other Approvals shall expire; provided however that the Use Permit and other Approvals may be extended for up to two (2) one-year periods pursuant to the St. Helena Municipal Code, Section 17.08.130, Extension of Permits and Approvals. Any requests for Extension shall be justified in writing and received by the Planning Department at least thirty (3) days prior to expiration.
2. These approvals are valid for this use only. New permits must be applied for upon any change in use. These permits will expire if the use is discontinued pursuant to the existing ordinances and regulations.
3. All required fees, including, as applicable, planning fees, development impact fees, residential in-lieu fees, engineering or building fees, toilet retrofit fees, school district fees shall be paid prior to issuance of a building permit. Fees shall be those in effect at the time of the issuance of the building permit.
4. Compliance with all permit conditions shall occur in accordance with specific regulations, but in all cases no later than prior to occupancy or initiation of use unless another time is set by law or by this approval. Occupancy or final inspection of a project may be withheld if all conditions, including payment of fees for services rendered by the City, are not met.
5. The applicant shall defend and indemnify and hold the City, its agents, officers, and employees harmless against any claim, action or proceedings to attack, set aside, void or annul an approval so long as the City promptly notifies the applicant of any such claim, action, or proceedings and the City cooperates fully in the defense of the action or proceedings.

6. Provided they are in general compliance with this permit, minor modifications may be approved by the Planning Director.
7. This permit shall run with the land and shall be binding upon all parties having any right, title or interest in the real property or any part thereof, their heirs, successors and assigns, and shall inure to their benefit and the benefit of the City of St. Helena.
8. The primary purpose of this review is for compliance with the General Plan and Zoning Ordinance. The owner/applicant is responsible for meeting with the Building Official/Fire Inspector to review compliance with Building and Fire Codes, including fire protection systems and the accessibility standards of Title 24.
9. Construction shall be in compliance with plans reviewed and approved by the Planning Commission on March 4, 2014 as amended to comply with the applicable conditions provided herein and the associated adopted mitigation measures.
10. Building or grading permits shall not be approved until the general plan amendment, rezoning and lot line adjustment have been fully approved by the City Council. Proof of recordation of the Lot Line Adjustment with Napa County shall be provided prior to issuance of a building permit.
11. Unless otherwise provided in the Arborists Report for the project, each tree or group of trees to be preserved within the vicinity of the construction site shall be protected by enclosure with a six (6) foot chain link fence prior to grading or movement of heavy equipment. The minimum distance of the fence from the tree shall be at the drip line, but may be extended an additional 10' to include the root zone which shall be determined by the project or City Arborist. Fencing shall remain in place until such time as the Building Inspector is assured the trees are no longer in danger of construction damage.
12. Trees removed on the site shall be replaced at a 2:1 ratio (2 trees planted for each 1 tree removed) with the minimum size of the replacement tree being 15 gallon.
13. The applicant and/or construction manager shall notify all contractors and subcontractors that no trespassing is allowed on adjoining properties.
14. This property adjoins an agricultural district. There exists a right-to-farm the adjoining property. There is a good faith expectation that no complaints will occur regarding legal, normal agricultural activities on the adjacent land. Such activities may include day or night disbursement of chemicals, and creation of dust, noise, or fumes.
15. Grading, building and other construction activities, including equipment and vehicle tune-up and delivery of materials, shall be limited to the hours of 7 a.m. to 7 p.m., Monday through Saturday excluding local, state and federal holidays.
16. Bieber Road improvements shall be installed to the satisfaction of the Acting Director or Public Works prior to the issuance of the first grading or building permit, whichever is first.
17. Prior to the issuance of a grading permit, the permittee's civil engineer shall submit an Excavation Management Plan to the Public Works Department detailing the estimated amount of

cut per phase, the location of receiving parcel(s), the route(s) of haul trucks from the site and specific methods to be taken to ensure that dirt is not spilled on private streets.

19. At the time of submittal of the deeds with legal descriptions for the adjusted lots, the applicant shall submit a plan or map, prepared to scale, that accurately locates all existing utilities, access drives and drainage patterns for all parcels as required by St. Helena Municipal Code, Title 16, Section 16.08.070. The plan shall be prepared under the supervision of and sealed by a California Licensed Land Surveyor or Registered Civil Engineer authorized to practice land surveying.
  - i. *The plan or map shall be reviewed by the Planning Director and the Public Works Director before the applicant is authorized to record the revised deeds. The Planning Director shall confirm that the locations of existing structures conform to setback and other zoning requirements and the director of Public works shall identify the need for easements as described in item b below.*
  - ii. *The applicant shall submit for review and record easements for all utilities, access drives and drainage patterns where such facilities or features cross one parcel to serve another other parcel as determined by the Public Works Director.*
20. The applicant or property owner shall submit two (2) copies of the lot line adjustment draft deed document legal descriptions. The deeds shall include legal descriptions of the lots before and after the lot line adjustment describing the entire boundary of each parcel. The legal descriptions shall be prepared, signed and stamped by a registered Land Surveyor or a licensed Civil Engineer, authorized to practice land surveying in California. The purpose of the revised deeds is to show the lot line adjustment in the chain of title.
21. The following statement shall be included on each revised deed document:
  - i. *The purpose of this conveyance and the conveyances being recorded concurrently herewith is to create a lot line adjustment pursuant to California Government Code Section 66412(d) and all local subdivision ordinances.*
22. The applicant shall record easements for all utilities, access and drainage patterns where facilities or features cross one parcel to serve another parcel, as determined by the City's Acting Public Works Director.
23. The property owner shall submit two (2) copies of the title reports issued within 30 days of the date of submittal of the revised deed and legal descriptions.
24. The property owners shall submit proof of payment of the mapping services fee, as required by the Napa County Board of Supervisors, Resolution 92-119, prior to recording documents.
25. The property owner shall submit proof of prepayment of property taxes to the City prior to recording documents, as applicable.
26. The property owner shall advise all lenders associated with the parcels subject to this lot line adjustment of the City's action to approve the application and any deeds of trust on the

subject properties shall be modified to conform to the new boundary configurations and submitted to the City prior to recording documents.

27. Within 30 days of approval of the revised deeds and their recording by the Napa County Recorder's Office, two (2) conforming copies of the recorded deed documents shall be submitted to the Planning Department for its files and use in issuing "Notice of Completion" statements.

### **Public Works**

1. Approval of this project shall be subject to the requirements of, and designed and constructed in accordance with, the most current versions of all federal, state, county and city codes governing such improvements. Approval of these design review preliminary plans is not considered a final approval of grading, drainage and erosion control design elements.
2. Regardless of the final zoning of the properties, the applicant shall comply with all grading restrictions and requirements of the Woodlands and Watershed District, Section 17.64.060 of the Municipal Code. Where it is found that the applicant deviated from the restrictions in 17.64.060, the deviation shall be remedied or restored to its original configuration to the maximum extent possible, as determined by the Public Works Director. Any grading and slope violations shown on this design review, any grading and site plans or existing construction in the field are not exempt from the code requirements of 17.64.060 and not approved herewith.
3. For any improvements outside the building envelope, a grading and drainage plan shall be submitted for review and approval by the City Engineer prior to the issuance of a building permit. If the project entails more than 50 cubic yards of soil disturbance, 10,000 square feet of disturbance area, a cut or fill of 3 feet or more, or alteration of any drainage pattern, a grading permit shall be required.
4. Any improvements performed in a public right of way will require an encroachment permit from the City. Improvements on private shared roadways will require written approval of plans by all parties of ownership of the access easements and shall follow any previously approved plans unless approved by all parties. Any and all accesses to all site improvements, existing or proposed, shall be approved by the Fire Department prior to issuance of a grading permit.
5. No added drainage from the new hardscape, roofs, decks, pools or roof improvements shall be allowed to leave the site. The stormwater plan shall provide a method to address how drainage will be treated, detained and infiltrated on site and at the property lines. Only the predeveloped flows shall leave the site.
6. Stormwater treatment shall be designed and constructed in accordance with St. Helena Development Manual Stormwater Standards and the most recent State of California standards for the stormwater run-off for 85th percentile storm event or greater as required by County and State standards. In the event the engineer's analysis shows potential for downstream erosion, the predeveloped flows from the 100 year storm events may be required to be infiltrated on site or detained and metered off-site. A system to detain the post-

developed flows shall be designed in accordance with City/County/State standards at the direction of the City Engineer.

7. If the disturbed area for all grading and improvements, including any access road, is greater than 1 acre, submittal of a SWPPP and adherence to the most recent NPDES General Construction Permit requirements is required. If the site disturbed area does not exceed the 1 acre limit, applicant is required to submit an erosion control plan for approval by the City Engineer to control construction runoff and contamination of site soils.
8. Combustible construction may not commence until adequate access to fire water supply is available to building site as approved by the Fire Chief.
9. Where fire sprinklers are required, applicant shall install an appropriately-sized water service system with pumps if necessary to adhere to the latest city and state fire codes prior to Certificate of Occupancy as approved by the Fire Chief.
10. Prior to Building Permit issuance, if applicable, a well yield test submitted for review and approval by Napa County Environmental Management to provide domestic and fire system water use.
11. Trenching up the 30% slopes from the well at the northeast corner of the site near Main Street/Highway 29 is prohibited based on the exception granted for connection to City potable water.
12. Where applicable, the applicant shall conform to the Napa County Department of Environmental Management's regulations, policies and guidelines for the design and construction of septic systems and provide DEM approval to the City. Woodlands and watershed restrictions shall apply for septic systems regardless of final zoning designations.
13. Improvements to Beiber Road as submitted with this design review shall be completed prior to combustible construction on-site.
14. The applicant shall repair all public and private improvements that are damaged by the construction process in accordance with the City Water/Sewer/Street/Storm Drain/Sidewalk Standards prior to the final building's Certificate of Occupancy.
15. As applicable, any incomplete or broken public improvement such as shoulder, swales, drainage pipes or asphalt along the project frontage shall be replaced per City/Caltrans specifications prior to Certificate of Occupancy, extent to be determined by the Public Works Department.

### **Fire Department**

1. Approval of this project shall be subject to the requirements of, and designed and constructed in accordance with, the most current versions of all federal, state, county and city codes governing such improvements. Specifically, Section 15.36 of the 2013 St. Helena Municipal Fire Code.
2. Approval of these design review preliminary plans is not considered a final approval from the St. Helena Fire Department.

3. All access roads shall be designed and constructed to meet HS-20 loading standards to accommodate a 75,000 lb. fire truck.
4. The project shall supply 30,000 gallons of fire suppression water for the construction of the guest house, barn, cottage and pool cabana.
5. The project shall supply 100,000 gallons of fire suppression water for construction of the main house or other structures; alternatively, the pool maybe be connected to the hydrant system to provide the needed 100,000 gallons of fire suppression water for construction.
6. Access roads more than 10% grade must be AC paved, any access roads with slopes from 10% to 16% must be constructed of scoured concrete; no roads over 20% are allowed.
7. Adequate fire engine clearance (min 13' 6") vertical above all roads is required.
8. Road widths, turnouts and Fire Fighting staging areas to be determined when final structure location plans are submitted.
9. Hydrant placement and numbers provided will be determined by the Fire Chief during building plan check by adherence to 2013 Fire Code for building placement and distance from structures to Fire Equipment access.
10. Suitable access shall be provided for Fire Engine and emergency vehicle response to all developed sites. Staging/parking areas must be within forty (40) feet from the structures, with the exception of the cabana and meet the 150 foot hose extension requirement.
11. The pool cabana must have adequate emergency personnel access, as determined by the Fire Code Official or Fire Chief, with a reasonably smooth all weather surface.
12. Combustible construction may not commence until adequate access to fire water supply is available to building site as approved by the Fire Code Official or Fire Chief.
13. Fire sprinklers are required inside and outside all buildings. The applicant shall install an appropriately-sized water service system with pumps if necessary to adhere to the latest city and state fire codes prior to certificate of occupancy as approved by the Fire code official or Fire Chief.
14. Final vegetation removal requirements will be determined once the building site placement is approved by the Fire Code Official or Fire Chief.

Approved at the April 8, 2014 St. Helena City Council meeting by the following vote:

AYES: Crull, White, Sculatti, Pitts, Mayor Nevero

NOES: None

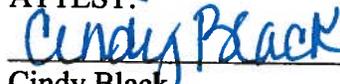
ABSENT: None

ABSTAIN: None

APPROVED:

  
 Ann Nevero  
 Mayor

ATTEST:

  
 Cindy Black  
 Interim City Clerk

